



## **Planning and Zoning Commission Meeting**

**December 14, 2021**

**7:00 p.m. – City Hall Via Videoconference**

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**Anyone who wishes to view the meeting in real time may do so as it will be streamed live on the city's YouTube page through YouTube Live.**

- 1. Call to Order**
- 2. Approve the November 9, 2021, Planning Commission Minutes**
- 3. Staff Report**
- 4. Site Plan Review – 319 E. Main St. – Smithville Townhomes**
- 5. Site Plan Review – 14450 N. 169 Hwy Suite B – Smithville Montessori Academy expansion**
- 6. Adjourn**

Join Zoom Meeting

<https://us02web.zoom.us/j/83546394149>

Meeting ID: 835 4639 4149

Passcode: 320762



# SMITHVILLE PLANNING COMMISSION

## REGULAR SESSION

November 9, 2021

7:00 P.M.

Council Chambers

**Due to the COVID-19 pandemic this meeting was held via the Zoom meeting app.**

**City Staff and Planning and Zoning Commission members attended via the Zoom meeting app. The meeting was streamed live on the city's YouTube page through YouTube Live.**

Those attending the meeting: Deb Dotson, Alderman John Chevalier, Mayor Damien Boley, Dennis Kathcart, Melissa Wilson, and Development Director Jack Hendrix. Rob Scarborough was absent. Carmen Xavier resigned from the commission after the last meeting on 10/12/2021.

### 1. CALL TO ORDER

Chairman Melissa Wilson called the meeting to order at 7:00 p.m.

### 2. MINUTES

The October 12, 2021, Regular Session Meeting Minutes were moved for approval by MAYOR BOLEY, Seconded by KATHCART.

Ayes 5, Noes 0. Motion carried.

### 3. STAFF REPORT

HENDRIX reported:

At our December meeting we will have a site plan approval for several townhome style apartments located at 319 E Main Street. This property was rezoned mid-summer this year.

We will also have McBee's Coffee and Carwash and their subdivision at December's meeting. They were hoping to be on tonight's agenda for just the site plan approval, but we did not get all of the data on it.

There is a lot going on at the strip mall located at the Smithville Marketplace. Construction has been finalized at Domino's Pizza and they are now open. The dental office on the other end of the strip mall is still under construction and is making progress. We are waiting for final contractor information for Jimmy Johns. Once we have this, we will issue the permit for work to start there. This leaves one unit available inside this strip mall.

Burger King is really close to completion.

Construction continues on the storage buildings at the Attic Storage location.

First Park Industrial subdivision has the streets in, and they are working on redoing some of the storm sewer that was not going to be approved by the city. The water has been approved and the sewer still needs to be installed.

The medical marijuana facility is still under construction. They poured about 1/3 of the floor. It is going to take roughly 162 trucks of concrete to pour the floor alone. They are hoping to have steel on site by mid-December to start the building.

There has been discussion about a spec building going up in the First Park subdivision for potential contractor rental. This would allow them to rent and have a garage to store their equipment and vehicles in and an office space with potentially 5 or 6 units in a strip scenario there.

In the coming months we expect to have a rezoning and a planned development approval for the property north of 144<sup>th</sup> Street on the east side of 169 Hwy. Someone is also diligently working to purchase the old strip mall that was torn down recently. No word on if that has made any progress.

The Diamond Creek subdivision is still under construction with grading for the lots and the road continuing. We still do not know if they have DNR approval yet for the water and sewer. This must be on file with us before they can start this underground work.

Eagle Ridge subdivision is having problems getting the soil to pass a proof roll, so they are looking at putting a Portland Cement mix into the subbase. A proof roll is a test that requires a fully loaded tandem axel truck to drive across the soil where the streets will be located and not pump or leave marks. Once the proof roll passes, they will be able to install the curbs. Once the curbs are installed and if there have not been any big rain events that would require another proof roll, they can start installing the asphalt.

MAYOR BOLEY stated that the Board of Aldermen will discuss at their meeting next week about in person meetings for future Board and Commission meetings. We will still have the hybrid option available if you need to join remotely but plan on meeting in the council chambers in January.

#### **4. PUBLIC HEARING: PLANNED DEVELOPMENT OVERLAY DISTRICT RICHARDSON STREET PLAZA**

HENDRIX stated that this property sits east, west and north of the Post Office. The planned development overlay district which is the conceptual plan is required because the lot sizes are different than what our zoning code allows. All of the lots will have some frontage and be accessed off of a central road. The developer has indicated that he does not have any specific tenants identified which is why he does not want to go through the extra step of adding the architectural plans for the buildings in this process. He is aware that as each entity comes forward, they will have to go through the site plan process for the buildings excluding the stormwater and traffic studies that is part of this project. The applicant and his engineer are both present at the meeting tonight and can answer any questions.

**Public Hearing:** None

**Public Hearing closed**

#### **5. RICHARDSON STREET PLAZA PLANNED DEVELOPMENT OVERLAY DISTRICT. 3 LOTS TO BE CREATED AT 169 HWY & RICHARDSON St (NW CORNER)**

ALDERMAN CHEVALIER motioned to approve the Richardson Street Plaza Planned Development Overlay District. Seconded by KATHCART.

**DISCUSSION:** None

**THE VOTE:** DOTSON-AYE, MAYOR BOLEY-AYE, KATHCART-AYE, WILSON-AYE, ALDERMAN CHEVALIER-AYE.

**AYES-5, NOES-0. MOTION PASSED**

**6. PUBLIC HEARING: SINGLE PHASE FINAL PLAT RICHARDSON STREET PLAZA (3 LOTS)**

HENDRIX stated that this subdivision will create 3 lots and it must match the recommended conceptual plan overlay for zoning purposes, which it does. There is water available on Richardson Street and on a part of 169 Hwy. They are going to be required to construct a water line through their development in a separate easement for water that will go along the access road. On the east side of this property there is already an easement for the existing gravity sewer. Each lot will have direct access to the sewer. They have full approval for the stormwater plan. The only thing our engineer asked is that when the buildings go in if they have any miniscule variances with the approved stormwater study they then reevaluate to see if they have to adjust. The building sizes shown on the plan are just potentials and someone may not need that exact size but if they go up in the size of the building, they will need to make corrections in the size of the stormwater basins that are required. The developer conducted a traffic study which revealed that a traffic light is warranted at Richardson Street and 169 Hwy. We are working with the library, the proposed new carwash and MODOT to try and come up with a funding package for the traffic light. Staff recommends approval of the proposed final plat based upon adherence to the conditions contained in the staff report.

**Public Hearing:** None

**Public Hearing closed**

## **7. RICHARDSON STREET PLAZA FINAL PLAT (3 LOTS)**

DOTSON motioned to approve the Richardson Street Plaza Final Plat.  
Seconded by KATHCART.

### **DISCUSSION:**

DOTSON asked if the new stop light would have turns lanes?

HENDRIX stated that it's ultimately subject to MODOT's design and approval.

WILSON asked about Richardson Street and if there would be turn lanes there? Will it be up to MODOT or the City?

HENDRIX stated that it's MODOT's intersection and they control who comes in and out. Both east and west bound Richardson Street have turns lanes currently.

DOTSON asked if a crosswalk would be part of the design?

HENDRIX stated yes.

WILSON stated that there currently are no sidewalks on Richardson Street but ask if there anything in the plans to get them added?

HENDRIX stated that they would be part of the actual design plans. 5-foot sidewalks are required on all public streets, and we anticipate that it will incorporate throughout this development.

WILSON asked since we reached out to the library about the funding for the stop light would it be possible to reach out to the strip mall as well?

HENDRIX stated that we can ask to see if they would be willing to be a part of the funding. It would certainly improve access for them.

**THE VOTE:** MAYOR BOLEY-AYE, KATHCART-AYE, DOTSON-AYE, WILSON-AYE, ALDERMAN CHEVALIER-AYE.

**AYES-5, NOES-0. MOTION PASSED**


## 8. ADJOURN

MAYOR BOLEY made a motion to adjourn. DOTSON seconded the motion.

VOICE VOTE: UNANIMOUS

WILSON declared the session adjourned at 7:32 p.m.

NOT YET APPROVED

	<div>STAFF</div> <div>REPORT</div>
<b>Date:</b>	12-10-21
<b>Prepared By:</b>	Jack Hendrix
<b>Subject:</b>	319 E. Main St. – Smithville Townhomes Site Plan

This report addresses proposed findings for the Smithville Townhomes Site Plan at 319 E. Main St. With our recent changes to the Site Plan Review process, this project is the first submittal for our new R-3 district requirements. Those can be found here:

<https://ecode360.com/37903737>

The standards of review of submittals for site plan approval follow the provisions of Section 400.410 of the code, and are listed below, with staff's findings.

*The extent to which the proposal conforms to these regulations.*

The submittal, with staff proposed changes, conforms to the site plan standards for R-3 properties. The project includes the following items:

The building materials and colors are to be standards residential products used throughout Smithville by the current builder, with variations of color in the earth tones ranges approved in the code.

The massing and façade treatments are handled in two different methods: first will be the different materials used in different areas; and secondly with depth and height differences of the respective units at different elevations. The elevation differences will address grade changes on site, and eliminate the large, massive wall look.

Site layout is designed to focus the traffic onto the smaller classification roadway to the south and places the parking area on the side of the building from both the north and south roadways. This layout also gives the shortest distance of travel to each unit, which will also eliminate additional lighting.

Lighting is designed into the buildings with front and rear porch area lighting which will sufficiently illuminate the area.

Landscaping will be needed on the north and south of the site in accordance with the code, but until such time as the existing trees that can be saved are identified during construction, the size and location of additional landscaping cannot be determined. This approval is subject compliance once all existing vegetation that can be saved is identified.



*The extent to which the development would be compatible with the surrounding area.*

The surrounding area has older multifamily projects along with older single-family homes on R-3 zoned property. With this site located across from the Heritage Park entrance, the density of this housing fits with the future of downtown.

*The extent to which the proposal conforms to the provisions of the City's subdivision regulations concerning the design and layout of the development, as well as water system, sewer system, stormwater protection and street improvements.*

The design, with the staff changes noted on the plans make the public infrastructure issues fully compliant with the standards of the respective departments and reduce the maintenance requirements of the city with no public improvements needed.

*The extent to which the proposal conforms to the policies and provisions of the City's Comprehensive Plan.*

This development plan in the downtown area fully complies with higher density residential near the core of downtown and the recreational access to the lake via the trail.

*The extent to which the proposal conforms to the adopted engineering standards of the city.*

The staff changes to the plans make the project fully compliant with the adopted standards

*The extent to which the locations of streets, paths, walkways and driveways are located so as to enhance safety and minimize any adverse traffic impact on the surrounding area.*

The sole vehicular access point is on the lower classification street (in compliance with our standards) there will be ADA pedestrian access to the sidewalks to the south, and by focusing traffic to the south, there are fewer chances of traffic conflicts on Meadow than on Main Street.

*The extent to which the buildings, structures, walkways, roads, driveways, open space and parking areas have been located to achieve the following objectives:*

*Preserve existing off-site views and create desirable on-site views;*

*Conserve natural resources and amenities available on the site;*

*Minimize any adverse flood impact;*

*Ensure that proposed structures are located on suitable soils;*

*Minimize any adverse environmental impact; and*

*Minimize any present or future cost to the municipality and private providers of utilities in order to adequately provide public utility services to the site.*

The lot itself was previously developed with a single-family residence that was ultimately demolished. The project area will focus the onsite and offsite views towards the Heritage Park area, with limited east or west views as was the case prior.

Staff recommends approval of the project with the conditions that are both noted on the plans, as well as the landscaping provisions to be determined once the scope of existing vegetation that can be saved is identified, and payment of the park's fees prior to final occupancy approval by the city.

/s/

Jack Hendrix

Development Director

# Smithville Townhomes

## Part of Block 2 - Calvin Smith's Addition


### Smithville

### Clay County, Missouri

#### Index of Sheets:

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Drainage Plan	4
Utility Plan	5
Erosion & Sediment Control Plan	6
Details	7

#### Prepared By:

  
**Todd R. Polk, P.E.**  
**Project Engineer**  
e: tpolk@cfse.com

10/20/2021  
**Date**

#### Utility Information:

Power:	Everygy 888.471.5275	Fiber:	Spectrum 816.358.8833	Telephone:	AT&T 800.464.7928
	Platte/Clay Electric Cooperative 816.628.3121		KC Coyote/Isotech, Inc. 816.370.2546		Spectrum 816.358.8833
Water:	City of Smithville Bob Lemley 816.532.0577 utilities@smithvillemo.org		AT&T 800.695.3679		Vonage 888.218.9015
			HughesNet 888.659.5325		
Sewer:	City of Smithville Bob Lemley 816.532.0577 utilities@smithvillemo.org		Direct TV 877.916.5137		
			Dish Network 877.647.7793		
Cable:	Spectrum 816.358.8833		Century Link 855.530.5620		
Gas:	Spire 816.756.5252				

#### Site Data:

PROJECT ZONING:	R-3
PROJECT AREA:	0.79 ACRES
SIGNAGE:	ALL SIGNAGE TO BE WALL MOUNTED SIGNS
FEMA:	SUBJECT PROPERTY IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS DEPICTED ON FEMA FIRM MAP 29047C0102E EFFECTIVE DATE 08/03/2015

#### PARKING SUMMARY:

REQUIRED:	3 SPACES PER UNIT = 24 SPACES
PROVIDED:	25 SPACES

#### BUILDING SUMMARY:

TOTAL FIRST FLOOR AREA:	7,510 SF
GARAGE:	2,070 SF
LIVING:	5,440 SF
TOTAL SECOND FLOOR (ALL LIVING):	7,510 SF

#### GREEN SPACE:

TOTAL LANDSCAPE AREA:	19,870 SF	(58% OF SITE)
INTERIOR GREENSPACE:	1,600 SF	
200 SF PER UNIT BETWEEN DRIVEWAYS		

#### STORMWATER RUNOFF:

CONDITION	1-YR	10-YR	100-YR
PRE-DEV	1.24 CFS	3.03 CFS	4.97 CFS
POST-DEV	0.98 CFS	2.87 CFS	4.58 CFS

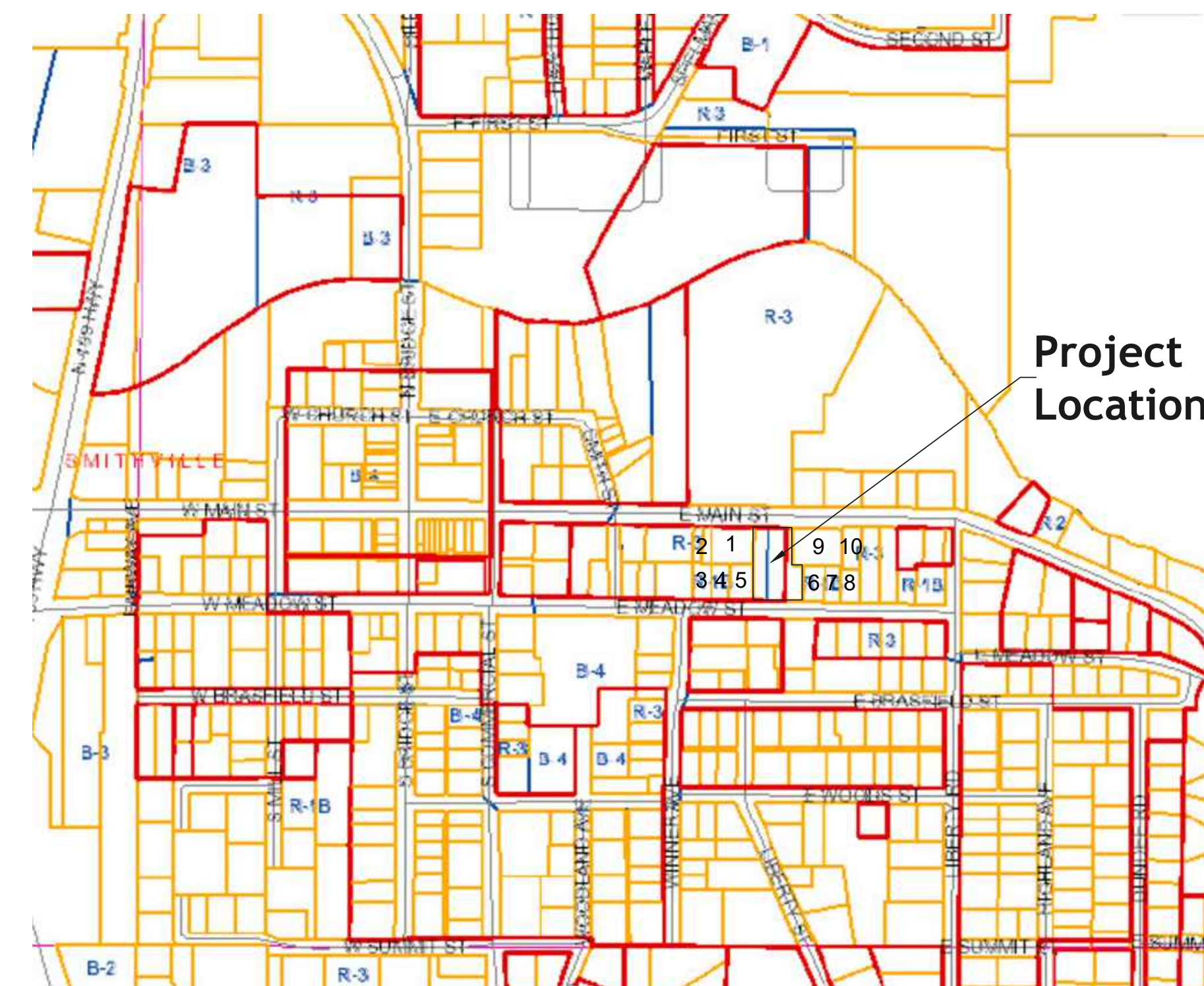
#### Adjacent Ownership:

1	MAIN STREET LEASING LLC.	313A E MAIN ST (R-3)
2	STEVE & MELISSA FISHER	311 A & B MAIN ST (R-3)
3	KEITH & CHERYLE TAYLOR	304 E MEADOW ST (R-1B)
4	LINDA MATTHEWS	306 E MEADOW ST (R-1B)
5	CHARLES & JESSIE NICHOLS	308 E MEADOW ST (R-1B)
6	RONALD MAJOR	314 E MEADOW ST (R-1B)
7	DON & ARLENE MCGEE	316 E MEADOW ST (R-1B)
8	BILL & SANDRA BOSEWILL	318 E MEADOW ST (R-1B)
9	ROBERT & NANCY LEMLEY	321 E MAIN ST (R-3)
10	JACOB PATCHER	325 E MAIN ST (R-3)

#### Project Developer:

Clayton Cox  
LMW Investments, LLC.  
319 E. Main Street  
Smithville, Missouri

#### Location Map:



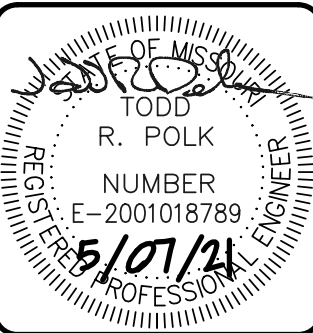
SECTION 34-T53N-R33W



Kansas: 1.800.DIG.SAFE (344.7233)

Missouri: 1.800.DIG.RITE (344.7483)

CFS ENGINEERS  
cfse.com



Mark	Description	Date

LMW INVESTMENTS, LLC.	Designed by: TRP	Date: 9/20/2021	
	Dwn by: MM	Qtd by:	Reviewed by:
	Submitted by:		
Cover Sheet	TRP	Plot scale:	N/A
	File name:		
	Plot date:		

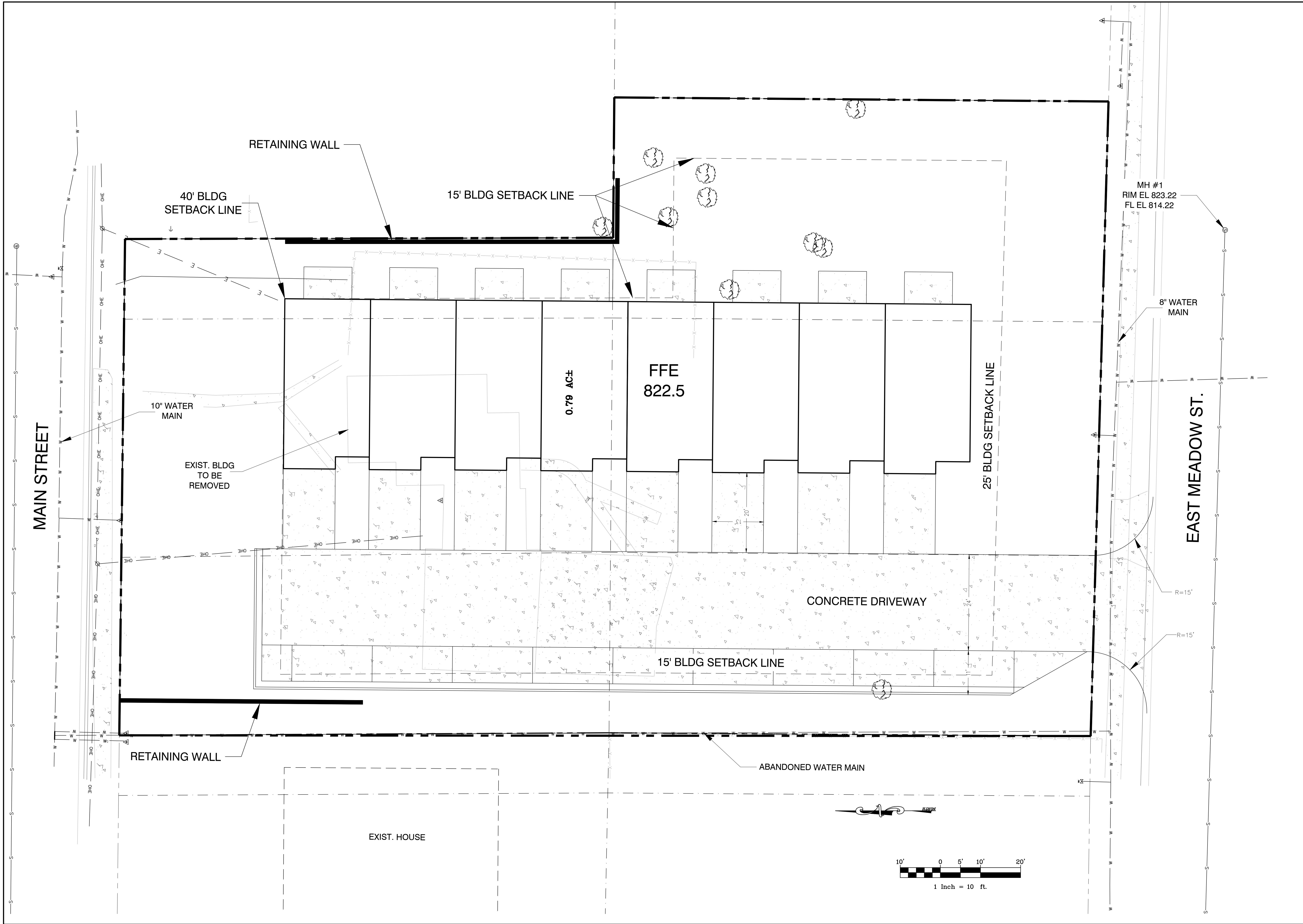
SMITHVILLE TOWNHOMES  
319 EAST MAIN STREET

Sheet  
reference  
number:

1

Sheet 1 of 7





Mark	Description	Date

Designed by: TRP	Date: 9/28/2021	Drawn by: LHL	Reviewed by: TRP	Submitted by: TRP	Plot scale: 1"=10'	File name: 	Plot date: 
LMW INVESTMENTS, LLC.				SITE PLAN			



MAIN STREET

EAST MEADOW ST.

40' BLDG  
SETBACK LINE

15' BLDG SETBACK LINE

25' BLDG SETBACK LINE

15' BLDG SETBACK LINE

10" WATER  
MAIN

EXIST. BLDG  
TO BE  
REMOVED

RETAINING WALL

RETAINING WALL

0.79 AC±

FFE  
822.5

CONCRETE DRIVEWAY

ABANDONED WATER MAIN

MH #1  
RIM EL 823.22  
FL EL 814.22

8" WATER  
MAIN

R=15'

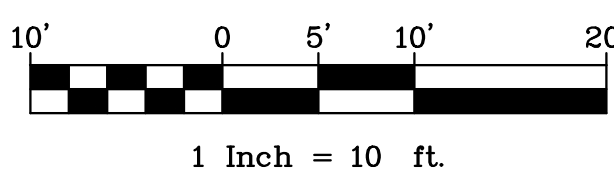
R=15'

### LEGEND

FFE FINISHED FLOOR ELEVATION

901 EXISTING CONTOURS

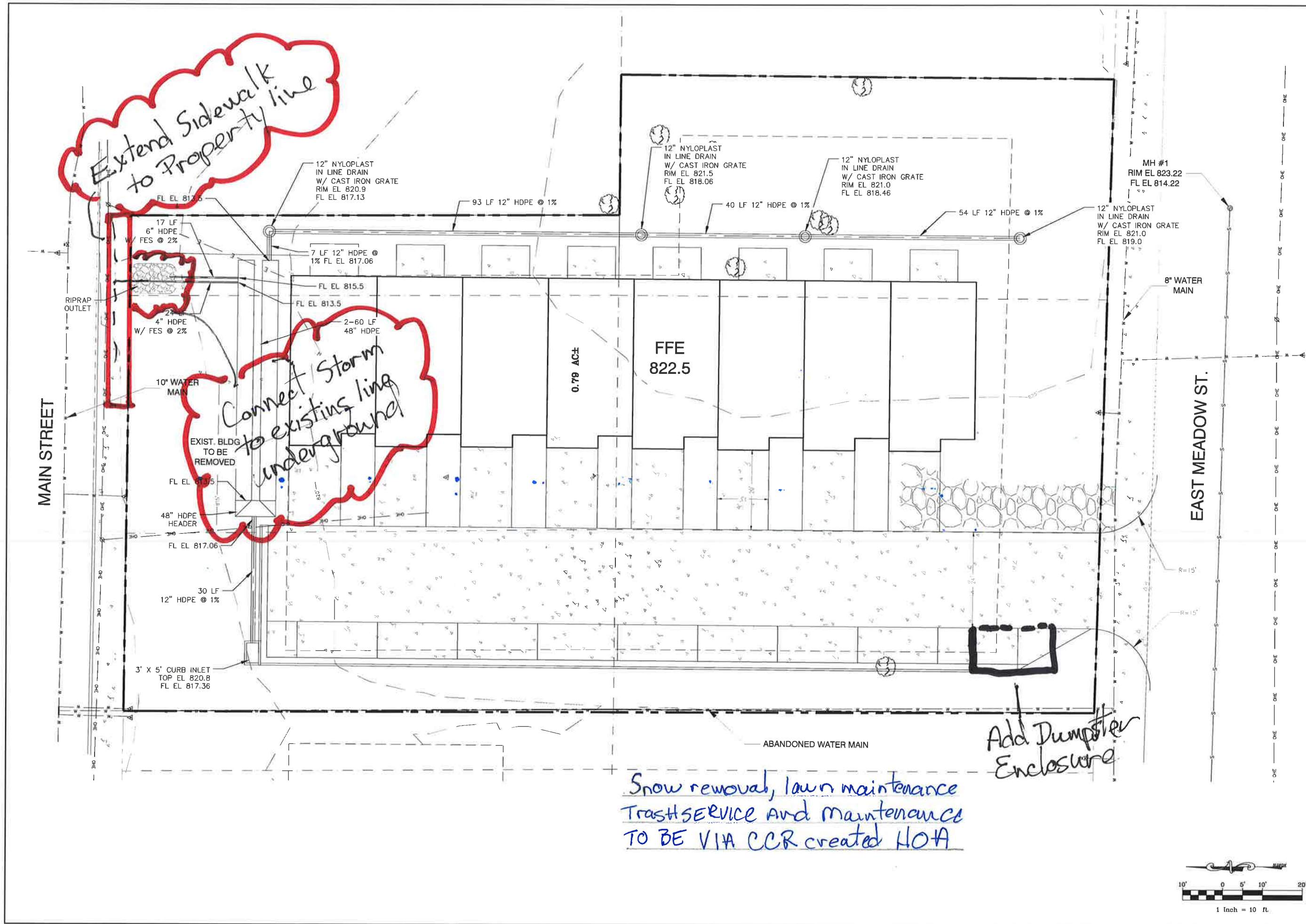
901 PROPOSED CONTOURS



Mark	Description	Date

LMW INVESTMENTS, LLC.	Designed by: Twp: LMT	Date: 9/28/2021	Reviewed by: TRP	Plot scale: 1"=10'
	Submitted by: TRP	File name:	Plot date:	
GRADING PLAN				





CFSENGINEERS  
cfs-engineers.com

100%  
R. POLK  
NUMBER  
E-2001018789  
9/28/2021  
PROFESSIONAL  
ENGINEER  
MISSOURI

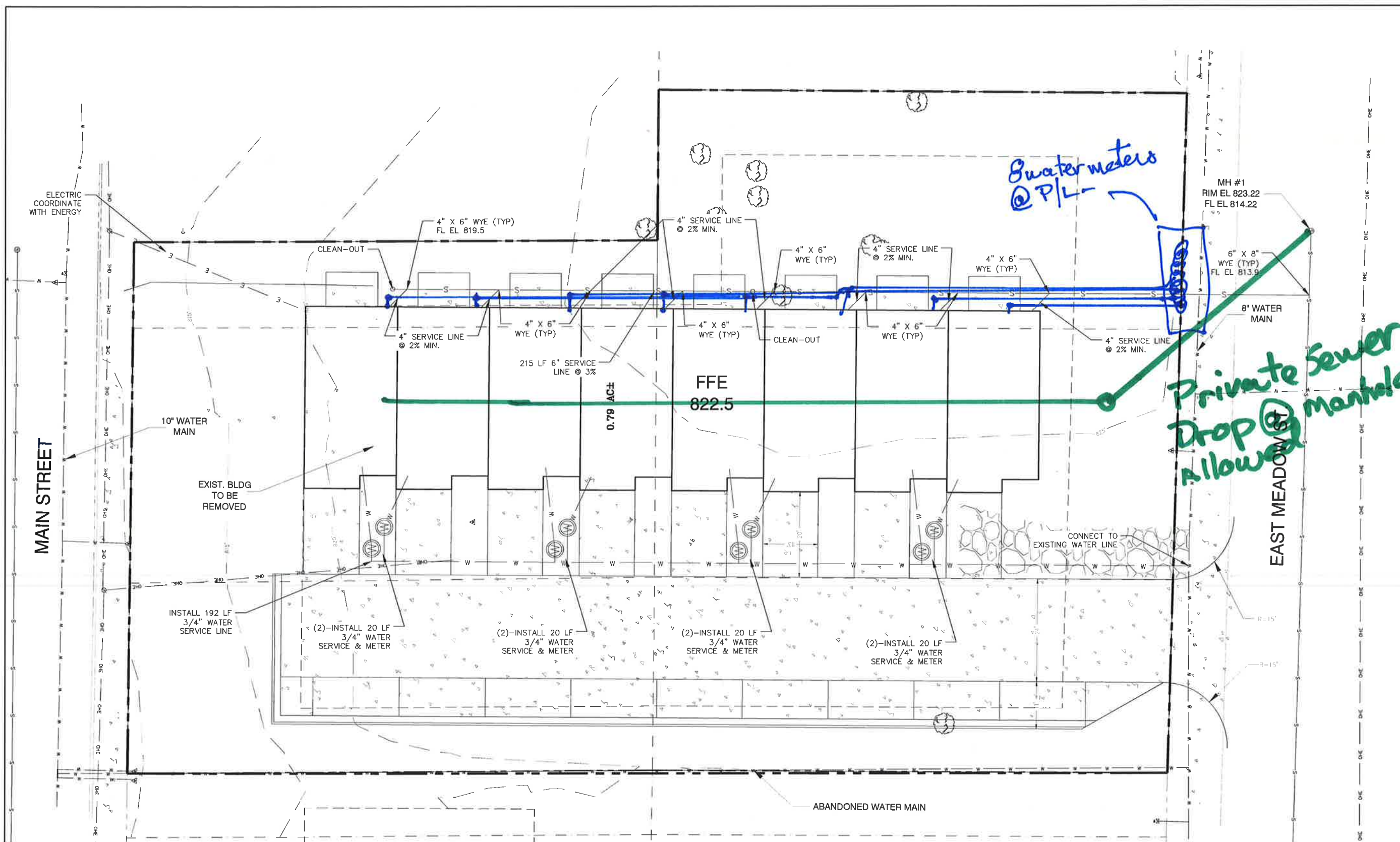
Work	Description	Date

Designed by:	Date:	Reviewed by:	Plot scale:
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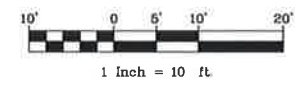
LMW INVESTMENTS, LLC.	DRAINAGE PLAN

SMITHVILLE TOWNHOMES 319 EAST MAIN STREET

Sheet reference number:
4
Sheet 4 of 7



- GENERAL NOTES:
1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CURRENT "CITY STANDARD" SPECIFICATIONS LAND DEVELOPMENT DIVISION, SMITHVILLE, MISSOURI, EXCEPT AS NOTED.
  2. BOUNDARY INFORMATION, EXISTING UTILITIES, AND TOPOGRAPHIC FEATURES SHOWN ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER, HOWEVER ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING TOPOGRAPHIC FEATURES AND EXISTING UTILITY LOCATIONS AND REPORT ANY DISCREPANCIES TO THE OWNER REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
  3. THE BASE DRAWINGS, INCLUDING EXISTING FEATURES AND TOPOGRAPHIC INFORMATION WERE PROVIDED TO THE ENGINEER BY THE DEVELOPER. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DISCREPANCIES FROM DRAWINGS GENERATED.
  4. ALL UTILITIES SHOWN OR NOT SHOWN DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
  5. ALL APPLICABLE PERMITS MUST BE OBTAINED FROM THE CITY ENGINEER PRIOR TO COMMENCING CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
  6. THE CONTRACTOR SHALL CONTACT THE SMITHVILLE MO PERMITS SECTION NO LESS THAN 24 HOURS PRIOR TO STARTING WORK ON THIS JOB, ANY CURB WORK AND FOR A FINAL INSPECTION BEFORE LEAVING THE JOB SITE.
  7. SANITARY SEWER SERVICE LINES SHALL BE 1 1/4" HDPE OR 11 PRESSURE PIPE AND SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4'.
  8. WATER SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN FOUR (4) FEET NOR MORE THAN (5) FEET, UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE.



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R. POLK  
NUMBER  
E-2001018789  
9/28/2021  
PROFESSIONAL ENGINEER

Mark	Description	Date

Designated by:	Date:	Drawn by:	Check by:	Reviewed by:	Plot scale:
TRP	9/28/2021	MM	TRP	TRP	1"=10'
Submitted by:		File name:			

LW INVESTMENTS, LLC.  
  
UTILITY PLAN

SMITHVILLE TOWNHOMES  
319 EAST MAIN STREET

Sheet reference number:  
  
5  
  
Sheet 5 of 7



## LEGEND

STABILIZED CONSTRUCTION ENTRANCE/EXIT

PARKING AND STAGING AREA (OFF-SITE)

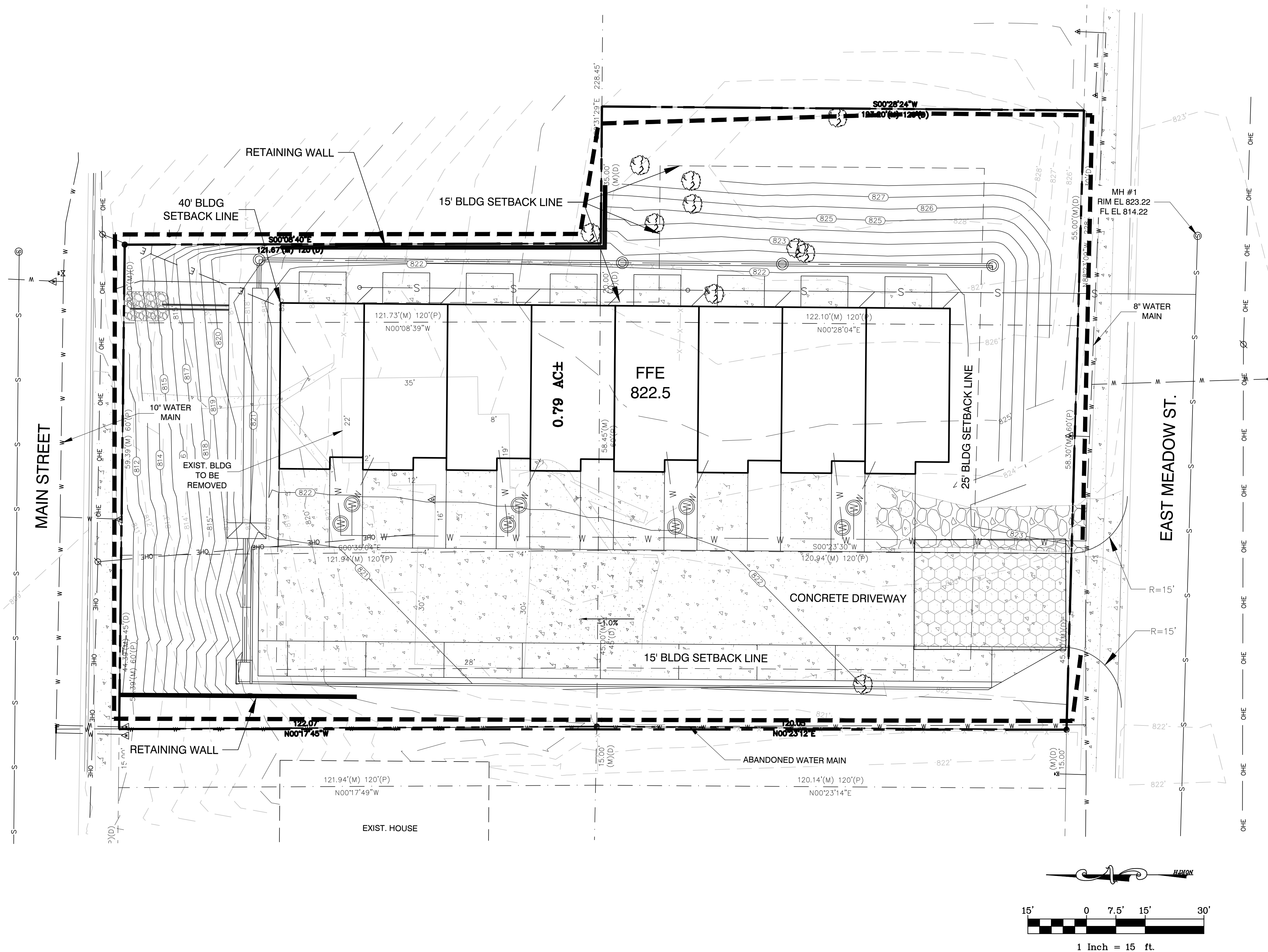
CONCRETE TRUCK WASH OUT (OFF-SITE) 001

STOCKPILE AT CONTRACTOR'S DISCRETION (OFF-SITE)

COMPOST FILTER SOCK/  
SILT FENCE

EXISTING CONTOURS

## PROPOSED CONTOURS



## Erosion and Sediment Control Staging Chart

<i>Project Stage</i>	<i>BMP Plan Ref No.</i>	<i>BMP Description</i>	<i>May Remove after Stage:</i>	<i>Notes</i>
<i>A – Prior to Land Disturbance</i>	<i>1</i>	<i>Construction Entrance</i>	<i>D</i>	
	<i>2</i>	<i>Parking &amp; Staging Area</i>	<i>D</i>	<i>Off-Site If Needed</i>
	<i>3</i>	<i>Stockpile</i>	<i>D</i>	<i>Off-Site If Needed</i>
	<i>4</i>	<i>Compost Filter Sock</i>	<i>D</i>	<i>If Stockpile is Needed</i>
<i>B – After Mass Grading</i>	<i>5</i>	<i>Compost Filter Sock/ Silt Fence</i>	<i>E</i>	
	<i>6</i>	<i>Seeding &amp; Mulching</i>	<i>N/A</i>	
	<i>7</i>	<i>Concrete Washout</i>	<i>E</i>	<i>Off-Site (See Notes)</i>
<i>C – After Storm Sewer Construction</i>	<i>8</i>	<i>Curb Inlet Sediment Filter</i>	<i>E</i>	

## NOTES

1. PRIOR TO BEGINNING CONSTRUCTION EROSION CONTROL MUST BE STABILIZED.
2. THE CONTRACTOR SHALL INSPECT ALL COMPOST FILTER SOCKS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. THE CONTRACTOR SHALL IMMEDIATELY MAKE ANY REQUIRED REPAIR.
3. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE THE COMPOST FILTER SOCK IF THE FABRIC TEARS, DECOMPOSES, OR BECOMES INEFFECTIVE.
4. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN EVENT AND TO REDUCE THE PRESSURE ON THE FILTER SOCK DURING CLEANOUT. SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/2 THE HEIGHT OF THE FILTER SOCK.
5. EROSION CONTROL TO BE INSTALLED IN DISTURBED AREAS IN PHASES AS REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES AND PHASES DURING CONSTRUCTION. IF THE CITY DETERMINES THAT THE BMP'S IN PLACE DO NOT PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROL AT ANY TIME DURING THE PROJECT, THE CONTRACTOR SHALL INSTALL ADDITIONAL OR ALTERNATE MEASURES THAT PROVIDE EFFECTIVE CONTROL.
6. CONCRETE WASH OR RINSEWATER FROM CONCRETE MIXING EQUIPMENT, TOOLS AND /OR READY-MIX TRUCKS, TOOLS, ETC., MAY NOT BE DISCHARGED INTO OR BE ALLOWED TO RUN DIRECTLY INTO ANY EXISTING WATER BODY OR STORM INLET. THE WASHING OF CONCRETE EQUIPMENT WILL NOT BE PERMITTED ON THE JOB SITE IF THE CONTRACTOR OR DEVELOPER CHOOSES NOT TO HAVE A CONCRETE WASHOUT INSTALLED.
7. THE CONTRACTOR SHALL TEMPORARILY SEED ALL DISTURBED AREAS IF THERE HAS BEEN NO CONSTRUCTION ACTIVITY ON THEM FOR A PERIOD OF FOURTEEN (14) CALENDAR DAYS. IF THE ENGINEER DETERMINES THAT A SITE HAS A HIGH POTENTIAL FOR EROSION BASED ON PREVIOUS INFORMATION SUBMITTED, HE MAY DIRECT THAT DISTURBED SOIL BE STABILIZED AFTER PERIODS OF CONSTRUCTION INACTIVITY OF MORE THAN FORTY-EIGHT (48) HOURS.
8. UPON FINAL GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED BY SEEDING WITHIN ONE (1) WEEK. WHEN THIS OCCURS OUTSIDE THE STANDARD SPECIFICATION SEEDING DATES, SEED SHALL CONSIST OF A TEMPORARY COVER CROP OF ANNUAL RYE OR WHEAT. ALL DISTURBED AREAS SHALL BE SEED, FERTILIZED, & MULCHED IN ACCORDANCE WITH THE CITY OF SMITHVILLE GUIDELINES.
9. CHEMICALS OR MATERIALS CAPABLE OF CAUSING POLLUTION MAY ONLY BE STORED ONSITE IN THEIR ORIGINAL CONTAINER. MATERIALS STORED OUTSIDE MUST BE IN CLOSED AND SEALED WATER-PROOF CONTAINERS AND LOCATED OUTSIDE OF DRAINAGEWAYS OR AREAS SUBJECT TO FLOODING. LOCKS AND OTHER MEANS TO PREVENT OR REDUCE VANDALISM SHALL BE USED. SPILLS WILL BE REPORTED AS REQUIRED BY LAW AND IMMEDIATE ACTIONS TAKEN TO CONTAIN THEM.

GRAVEL CONSTRUCTION ENTRANCE

1. STONE STABILIZED PADS SHALL BE CONSTRUCTED AT THE LOCATION SHOWN ON THE PLANS WHERE CONSTRUCTION AND PRIVATE VEHICULAR TRAFFIC WILL BE ALLOWED TO ENTER AND EXIT THE CONSTRUCTION SITE. CONSTRUCTION EQUIPMENT (INCLUDING PERSONAL VEHICLES) ARE NOT ALLOWED TO EXIT THE SITE DIRECTLY ONTO ARTERIAL OR COLLECTOR STREETS. ALL VEHICLES/CONSTRUCTION EQUIPMENT MUST USE THE STABILIZED CONSTRUCTION ENTRANCES SHOWN ON THE PLANS.
2. CONSTRUCTION ENTRANCE TO BE COMPOSED OF 2 TO 3 INCH DIAMETER WASHED STONE UNDERLINED BY A GEOTEXTILE FABRIC TO IMPROVE STABILITY. STONE THICKNESS TO BE A MINIMUM OF 6-INCHES. ENTRANCES TO BE 20- FEET WIDE AND 50- FEET IN LENGTH.
3. CONTRACTOR SHALL APPLY ADDITIONAL TOP DRESSING OF 2-INCH STONE AS NEEDED TO MAINTAIN THE INTEGRITY OF THE ENTRANCE.

# ENGINEERS

**CFS**  
cfse.com

[illegible]

LMW INVESTMENTS, LLC.	TRP	9/28/2021
	Drawn by: MKM Qtd by: TRP Reviewed by:	
EROSION CONTROL PLAN	Submitted by: TRP	PLOT scale: 1"=15'
	File name:	PLOT date:

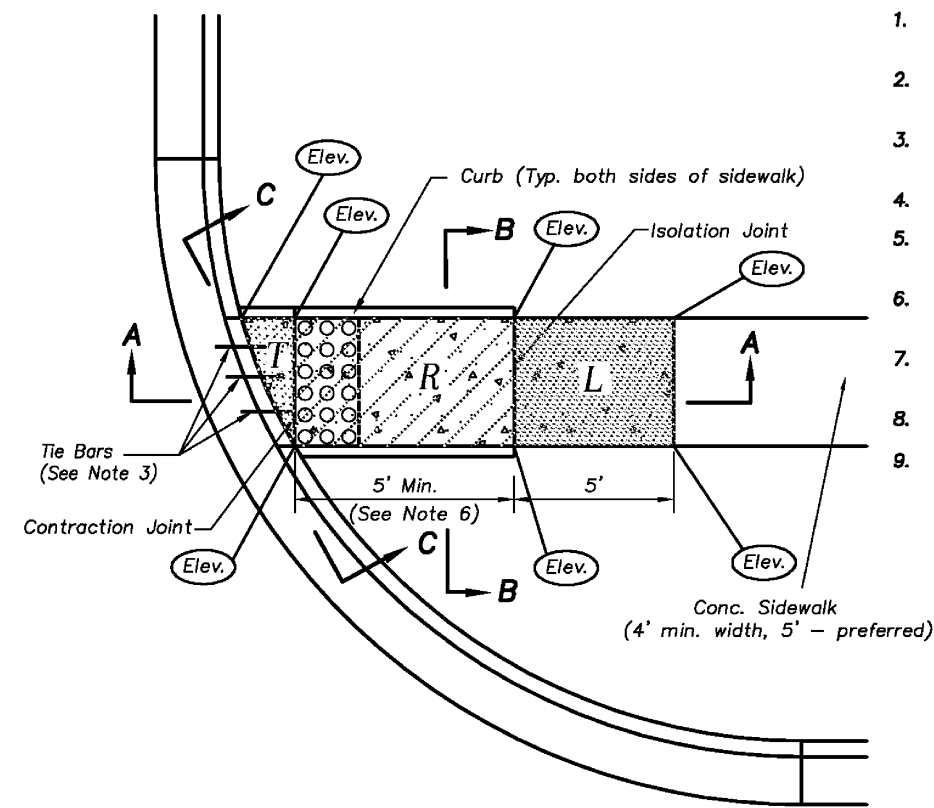
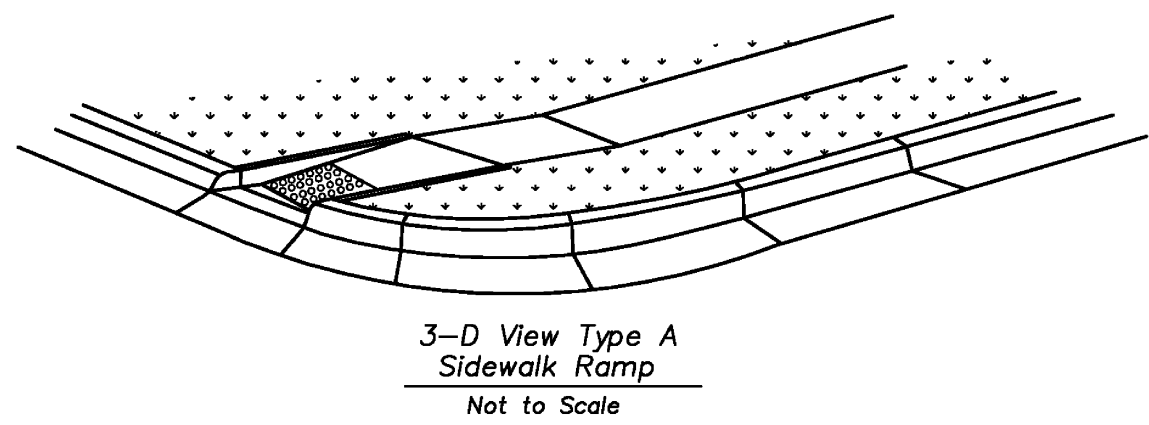
SMITHVILLE TOWNHOMES  
3319 EAST MAIN STREET

Sheet  
reference  
number:

6

Page 6 of 7

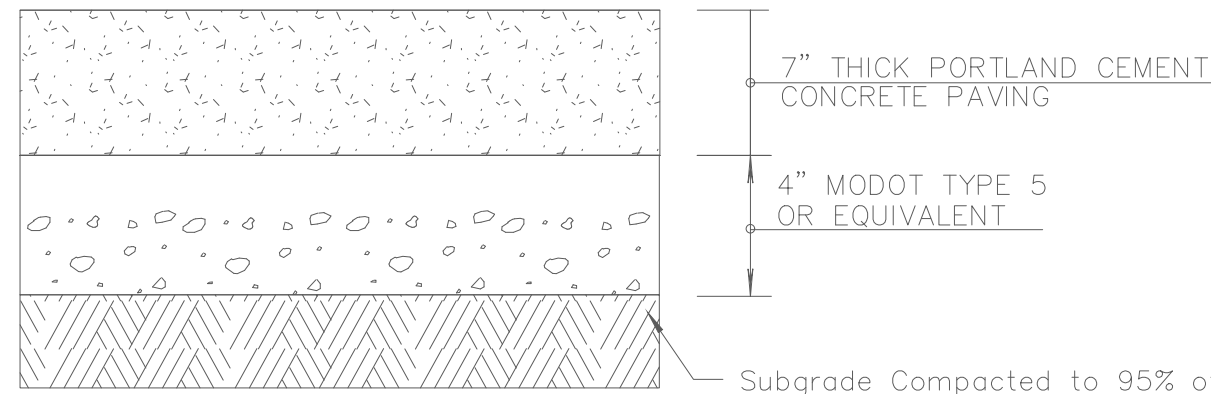
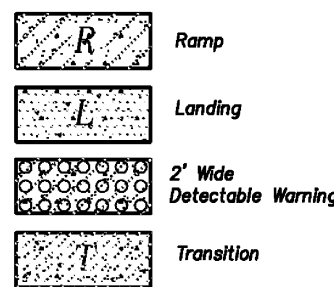




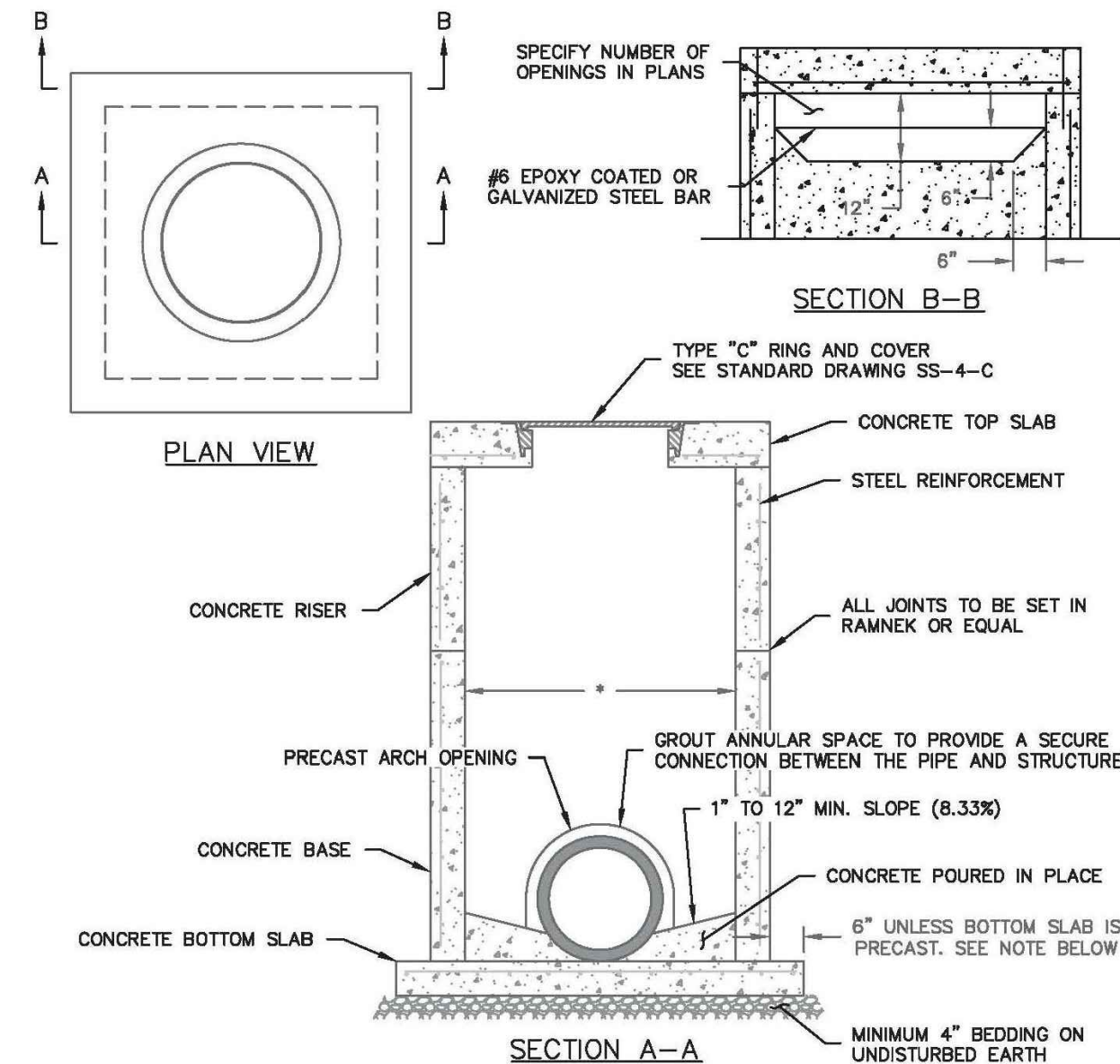
**Sidewalk Ramp Notes:**

1. Sidewalk ramp location determined from the intersection of the extension of back of sidewalk and back of curb & gutter.
2. Plan drawings shall include a table of elevations for all points labelled as (Elev).
3. Key all construction joints or use tie bars #4 epoxy coated @ 12' o.c.
4. Longitudinal joint spacing to match width of sidewalk.
5. Isolation joints shall be placed where walk abuts driveways and similar structures, and 250' centers max.
6. Sidewalk Ramp shall be lengthened to provide ADA compliance slope but need not exceed 15'.
7. ADA maximum ramp slope = 1" / 12". ADA maximum cross slope = 2%.
8. Detectable warnings to comply with ADA requirements.
9. Landing for Type C ramp along the entire curb return is preferred, but may be shortened to minimum ADA compliant dimension.

**Legend:**



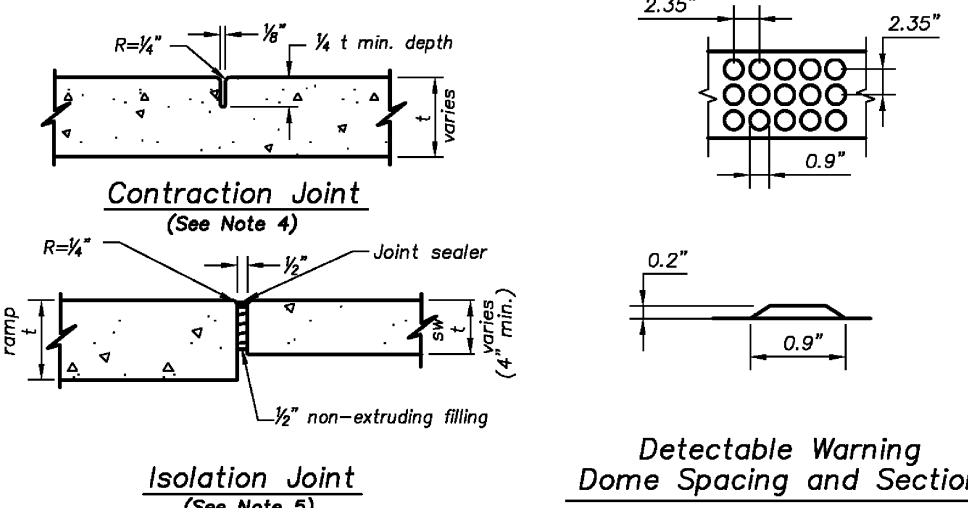
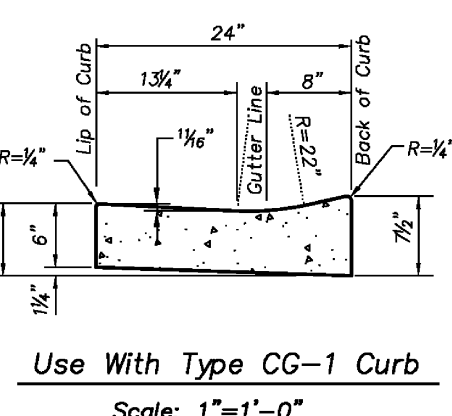
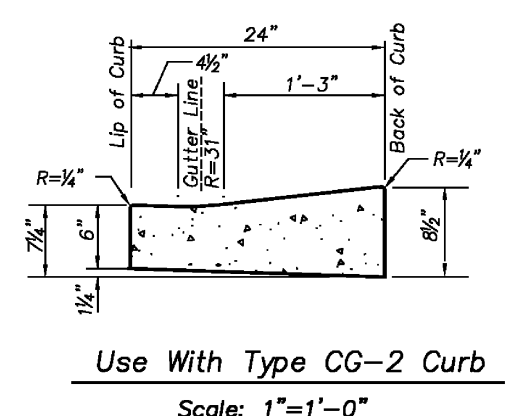
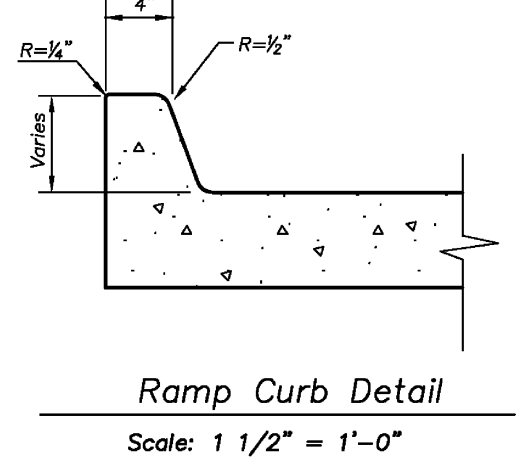
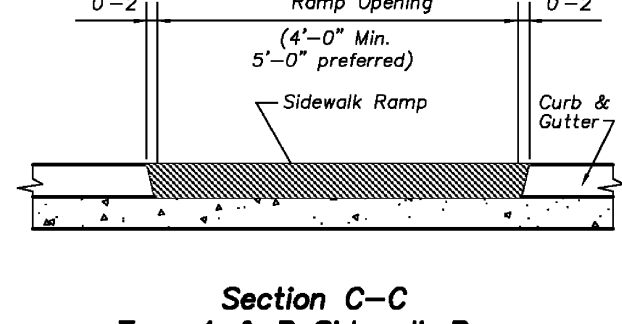
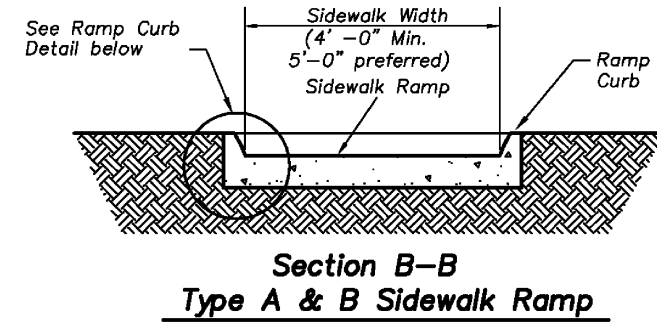
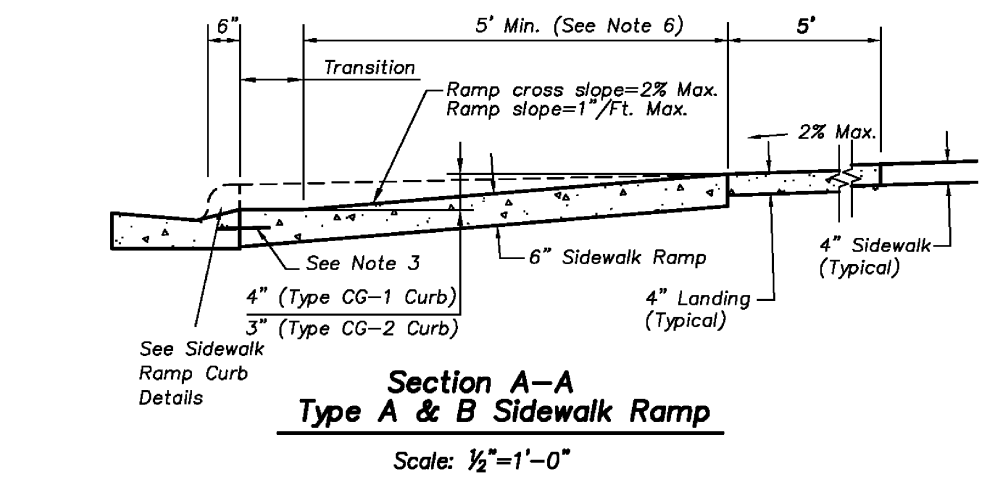
CONCRETE PAVEMENT SECTION  
NOT TO SCALE



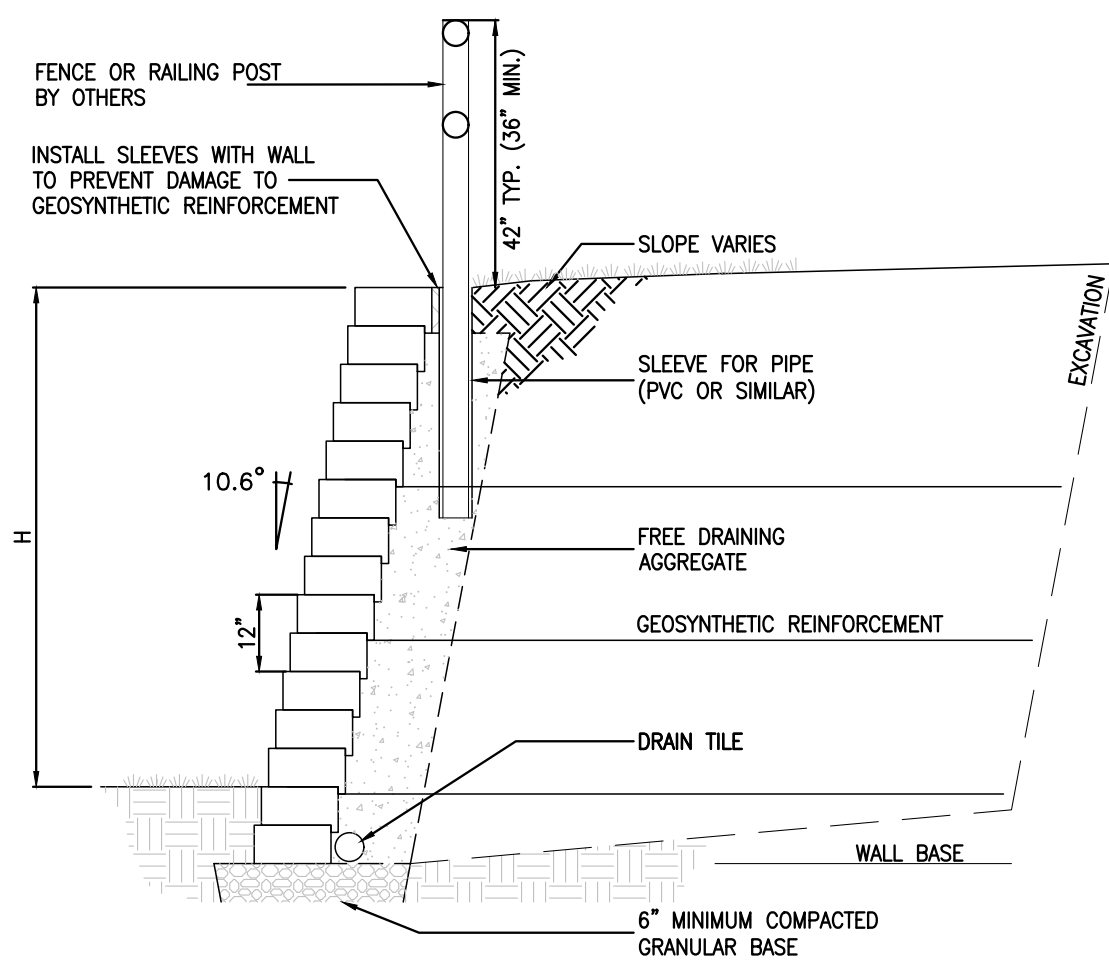
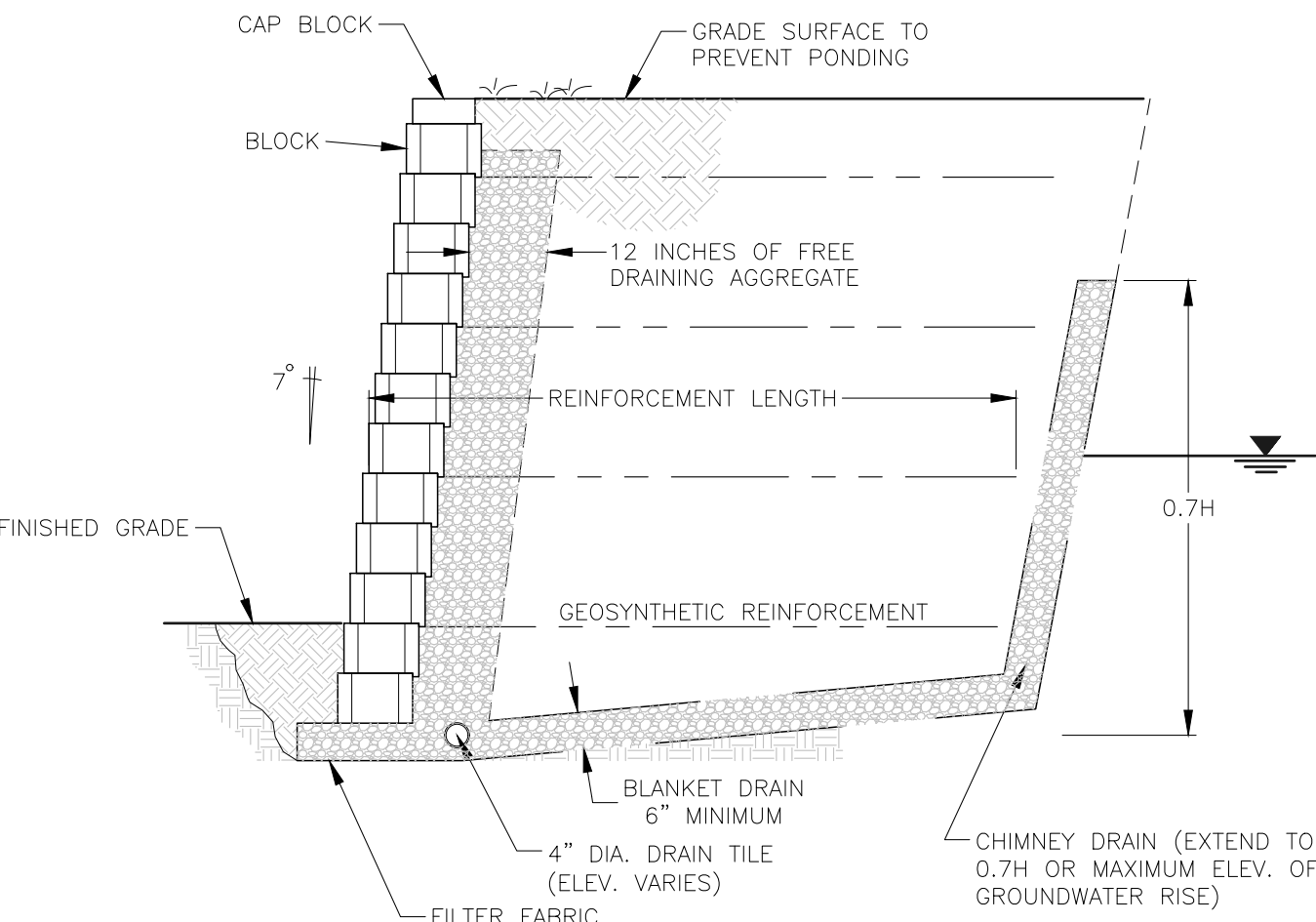
- NOTES:
1. AREA INLET SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ASTM C 913.
  2. AREA INLET SHALL BE CONSTRUCTED WITH AS FEW JOINTS AS REASONABLY PRACTICAL. WHEN JOINTS ARE NECESSARY, JOINTS SHALL BE WATER-TIGHT, DETAILED ON SHOP DRAWINGS AND DESIGNED TO PREVENT LATERAL MOVEMENT DURING AND AFTER CONSTRUCTION.
  3. CONCRETE TOP SLAB SHALL BE DESIGNED TO WITHSTAND LOADING BASED ON A COMBINATION OF DEAD LOADS, SNOW LOADS, AND A-18 (HS20-44) TRAFFIC LOADS IN ACCORDANCE WITH ASTM C890.
  4. BOTTOM SLAB SHALL BE POURED IN PLACE. IF MANUFACTURER IS CONCERNED ABOUT STRUCTURAL INTEGRITY OF CONCRETE BASE DURING TRANSPORTATION THEN THE BOTTOM SLAB MAY BE PRECAST WITH CONCRETE BASE.
  5. PIPE TO BE ON GRADE BEFORE BOTTOM SLAB IS CONSTRUCTED UNLESS BOTTOM IS PRECAST WITH BASE.
  6. ALL PIPES SHALL FIT FLUSH WITH INSIDE FACE OF INLET.
  7. BOTTOM OF INLET TO BE FILLED WITH CONCRETE FORMING CHANNELS TOWARD OUTLET PIPE FROM ALL INLET PIPES. CONCRETE SHALL BE FLUSH WITH INVERT OF OUTLET PIPE.
  8. CONCRETE TOP SLAB SHALL BE PINNED TO STRUCTURE AT THE CORNERS USING ONE #4 DEFORMED BAR IN EACH CORNER. BAR SHALL EXTEND A MINIMUM OF 6 INCHES INTO RISER BELOW.

PIPE DIAMETER	*MINIMUM INSIDE DIMENSION OF STRUCTURE
15" - 24"	THREE FEET (3')
27" - 30"	FOUR FEET (4')
36" - 42"	FIVE FEET (5')
48" - 54"	SIX FEET (6')

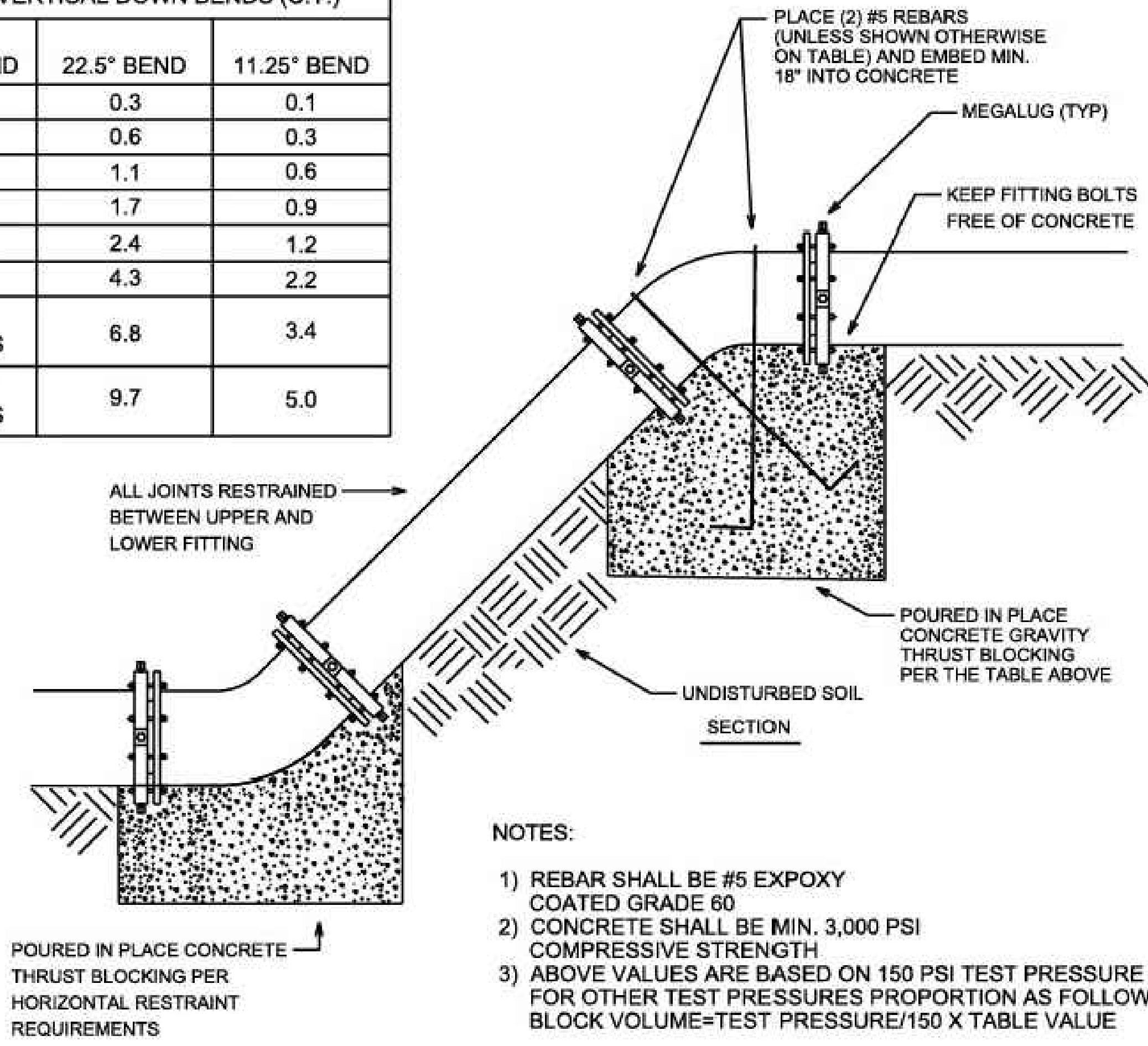
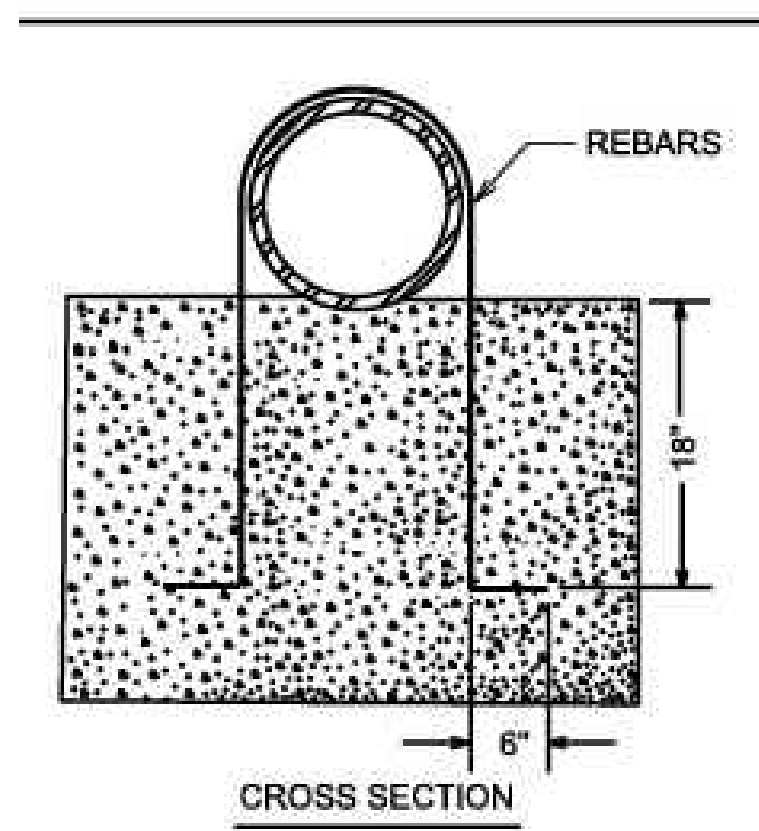
AREA INLET DETAIL  
NOT TO SCALE



**Street Curb Detail at Ramp**

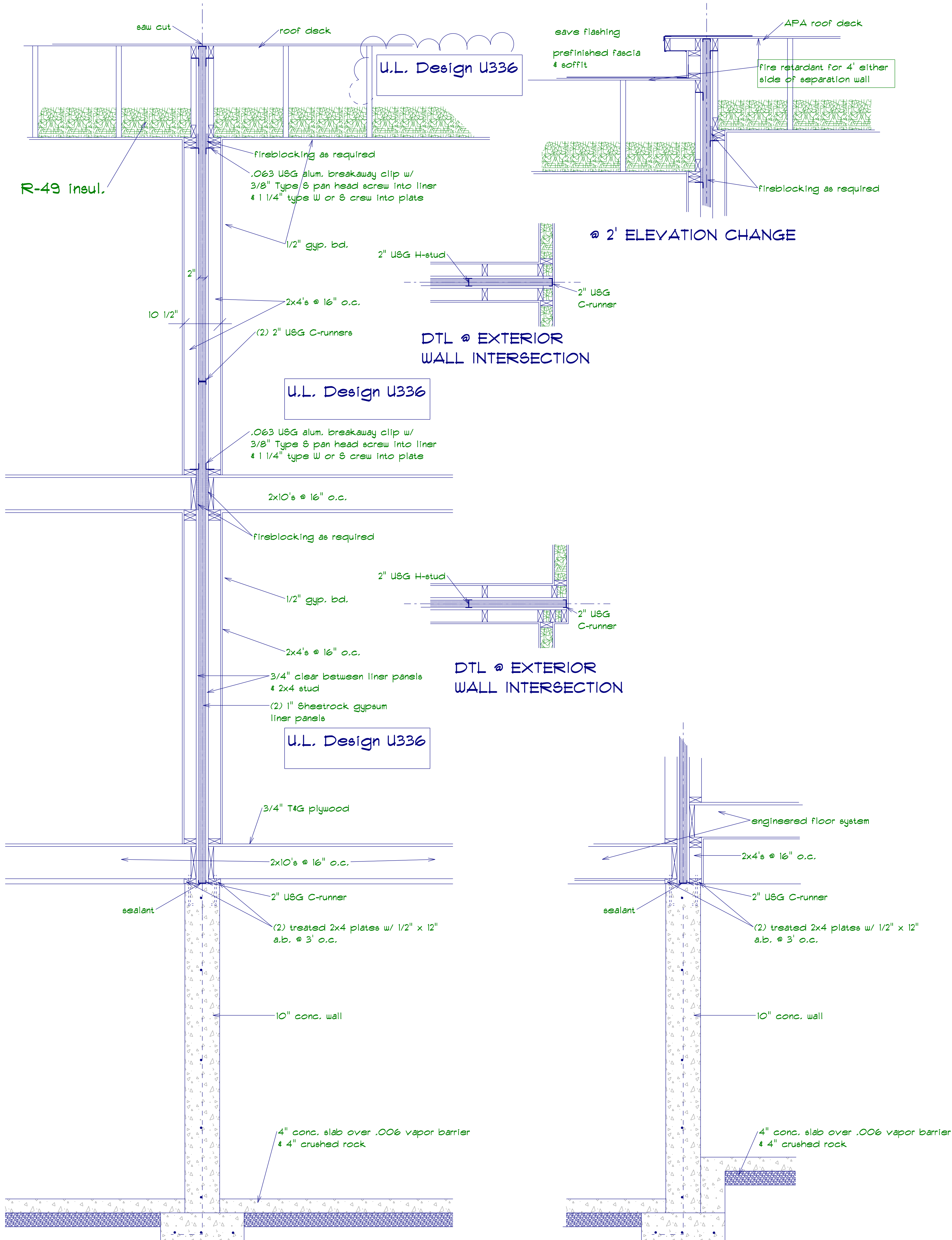


VOLUME REQUIREMENT FOR VERTICAL DOWN BENDS (C.Y.)				
FITTING SIZE (IN)	90° BEND	45° BEND	22.5° BEND	11.25° BEND
4	0.7	0.5	0.3	0.1
6	1.6	1.1	0.6	0.3
8	2.8	2.0	1.1	0.6
10	4.4	3.1	1.7	0.9
12	6.4	4.5	2.4	1.2
16	11.3	8.0	4.3	2.2
20	17.7 3 BARS	12.5 3 BARS	6.8	3.4
24	25.4 6 BARS	18.0 4 BARS	9.7	5.0



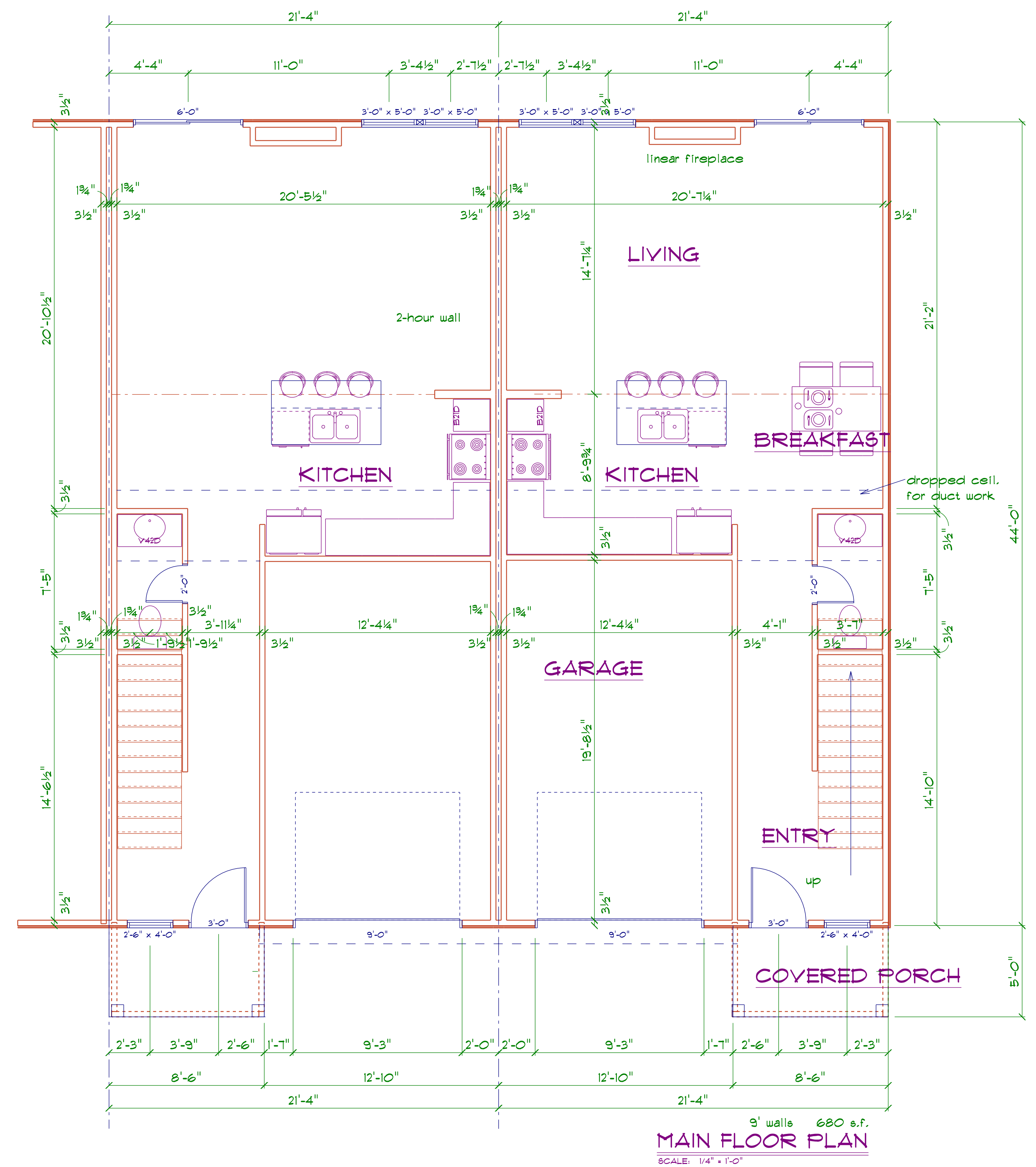
GRAVITY BLOCK THRUST RESTRAINT FOR VERTICAL BENDS  
NOT TO SCALE





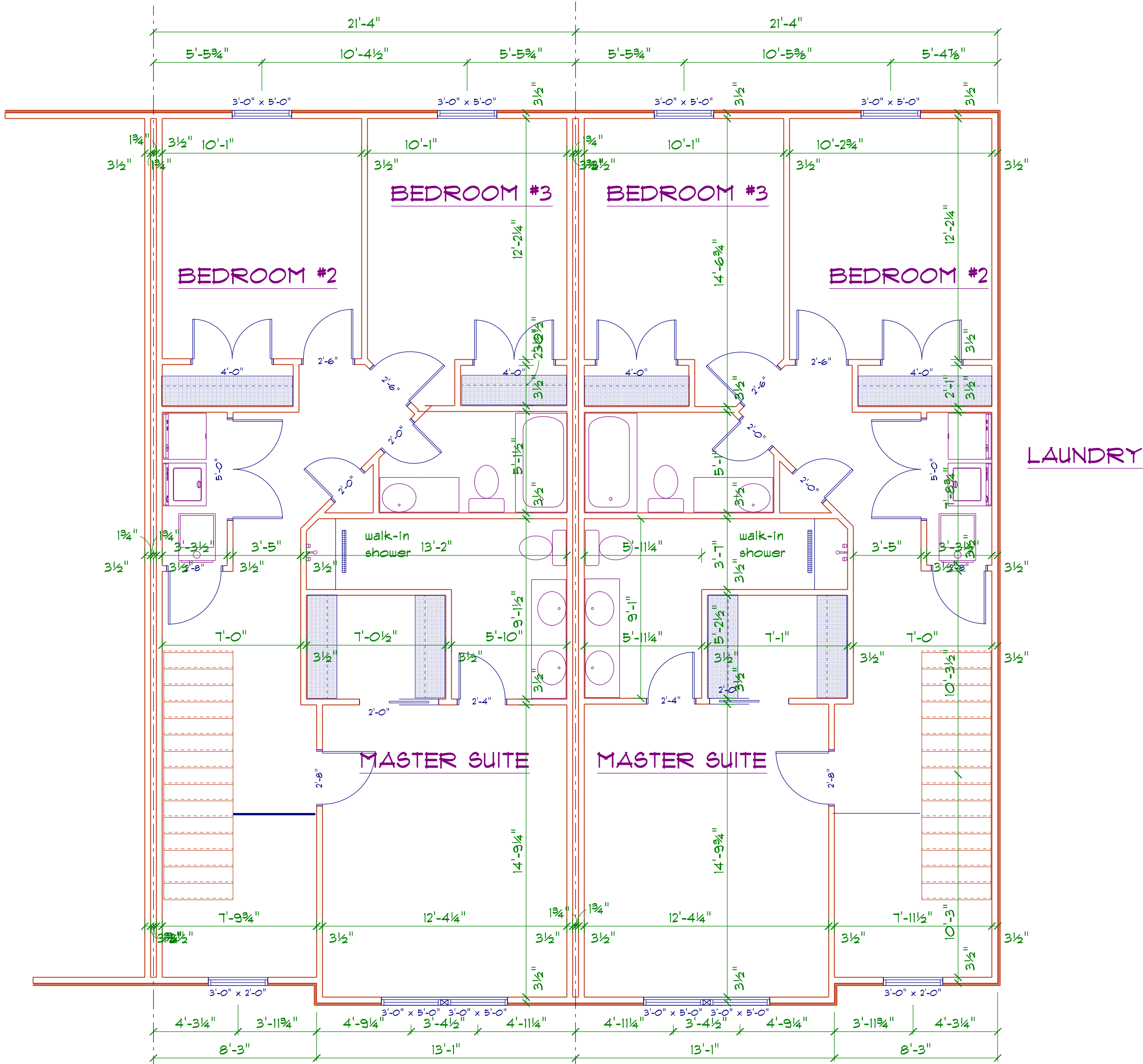
# PARTY-WALL DETAIL @ 2' ELEVATION CHANGE

3/4" = 1'-0"



9' walls 680 s.f.  
SCALE: 1/4" = 1'-0"

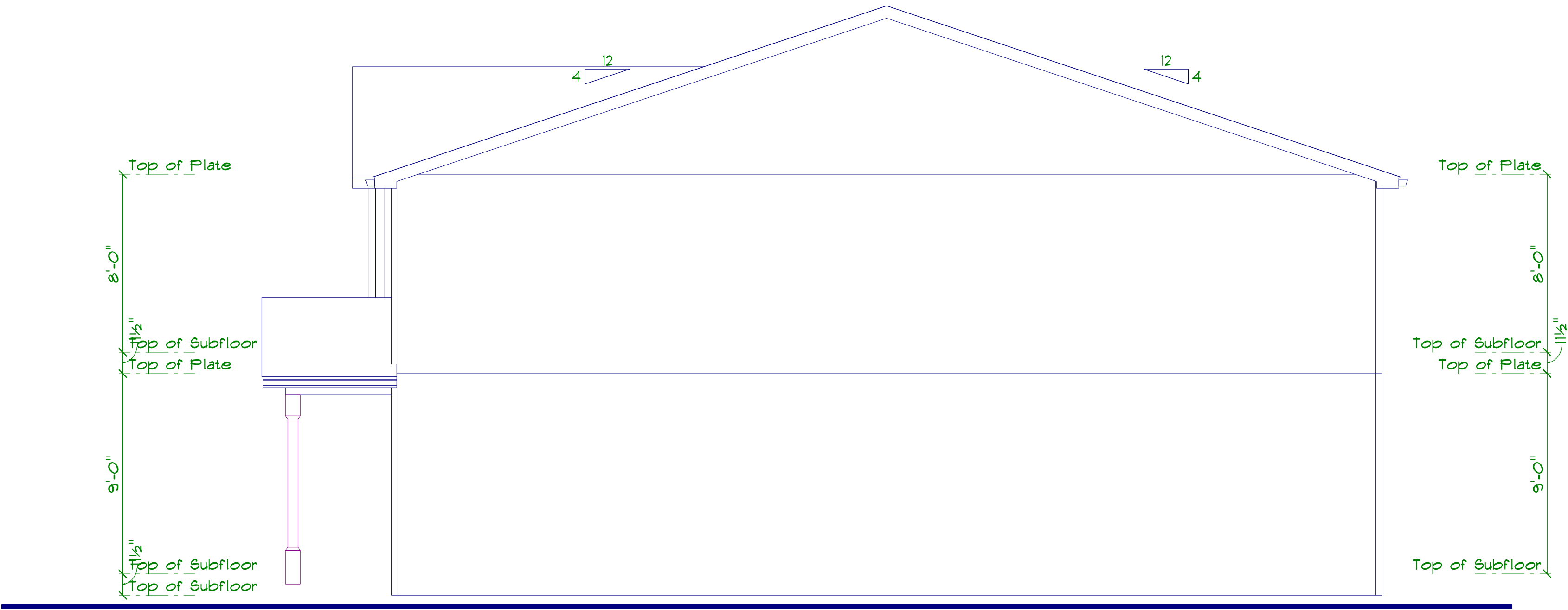
<b>ArchiTucture</b> 816.622.5013 C:\SoftPlan\Projects\cottownhouses\	8-unit Townhouse Project Clayton Cox		
	Dennis E. Tuck, Architect 12319 Moffitt Liberty, MO 64068	GROUND SNOW LOAD - 20#/S.F. WIND SPEED - 115 M.P.H. SEISMIC DESIGN CATEGORY - A FROST LINE DEPTH - 36"	
	Sheet 1	Monday, November 12, 2012	
	Job. NO. 21.082		



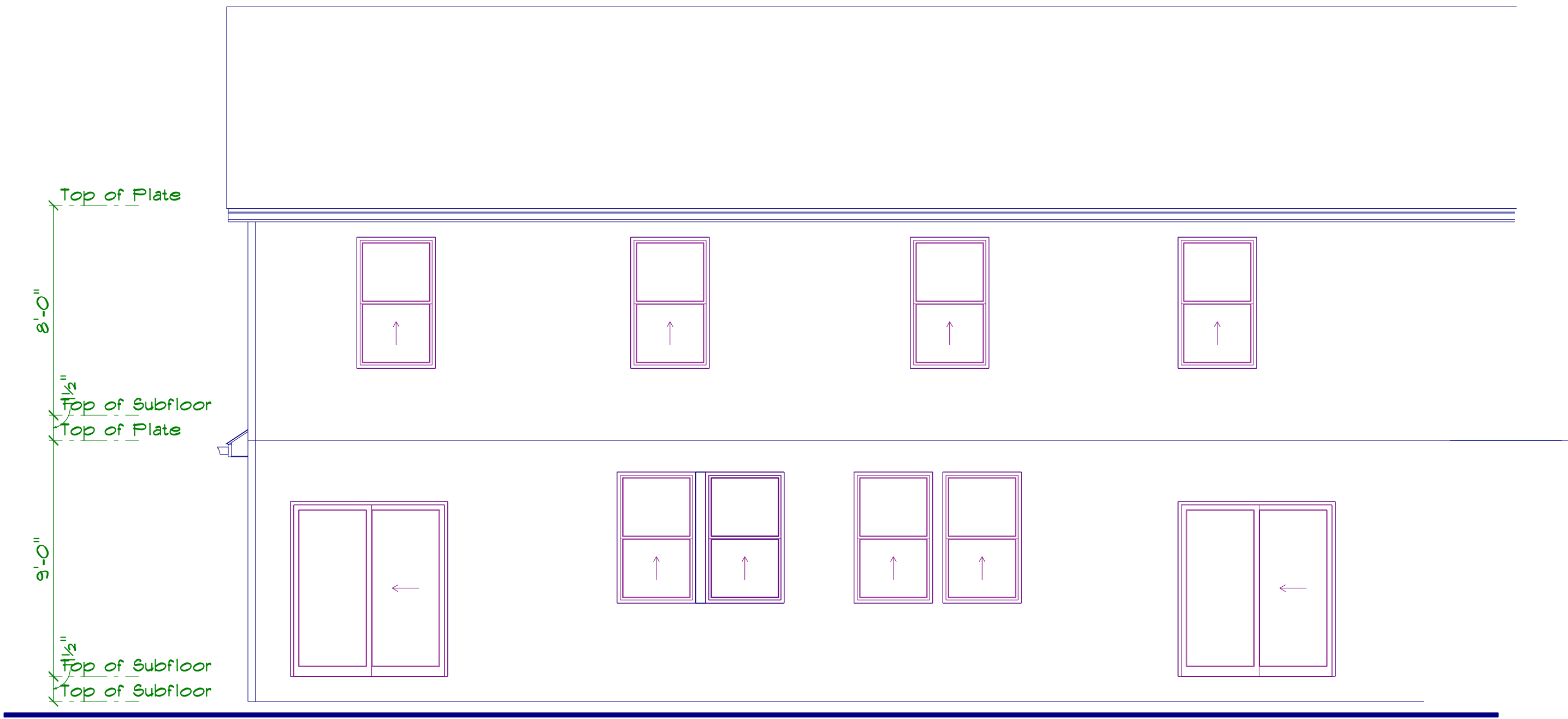
828 s.f.  
**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

ArchiTuckture		Dennis E. Tuck, Architect 12319 Moffitt Liberty, MO 64068	8-unit Townhouse Project Clayton Cox	GROUND SNOW LOAD - 20#/S.F. WIND SPEED - 115 M.P.H. SEISMIC DESIGN CATEGORY - A FROST LINE DEPTH - 36"
Sheet	2			
Monday, November 1,				
Job. NO.	21.082			

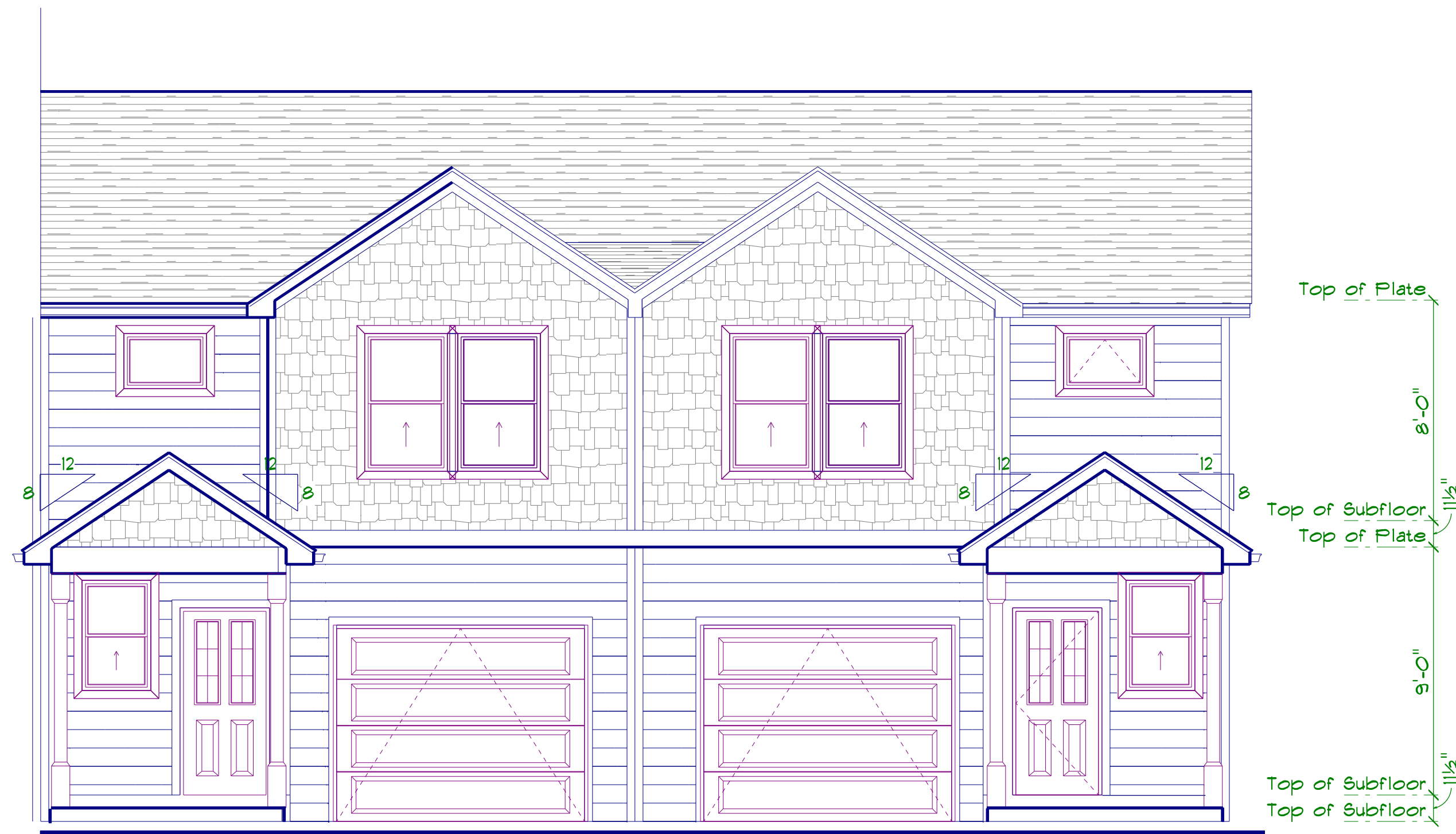
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**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"  
left side reversed



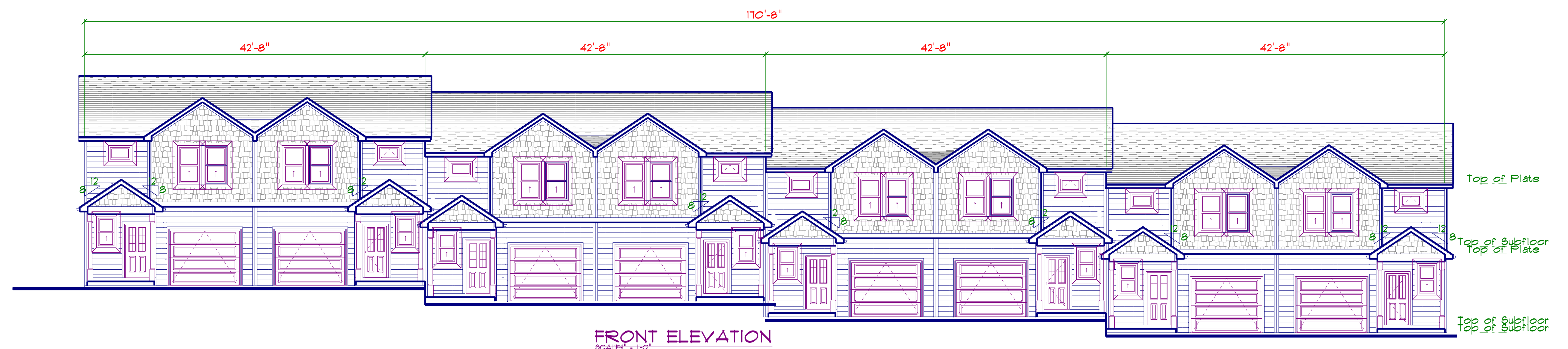
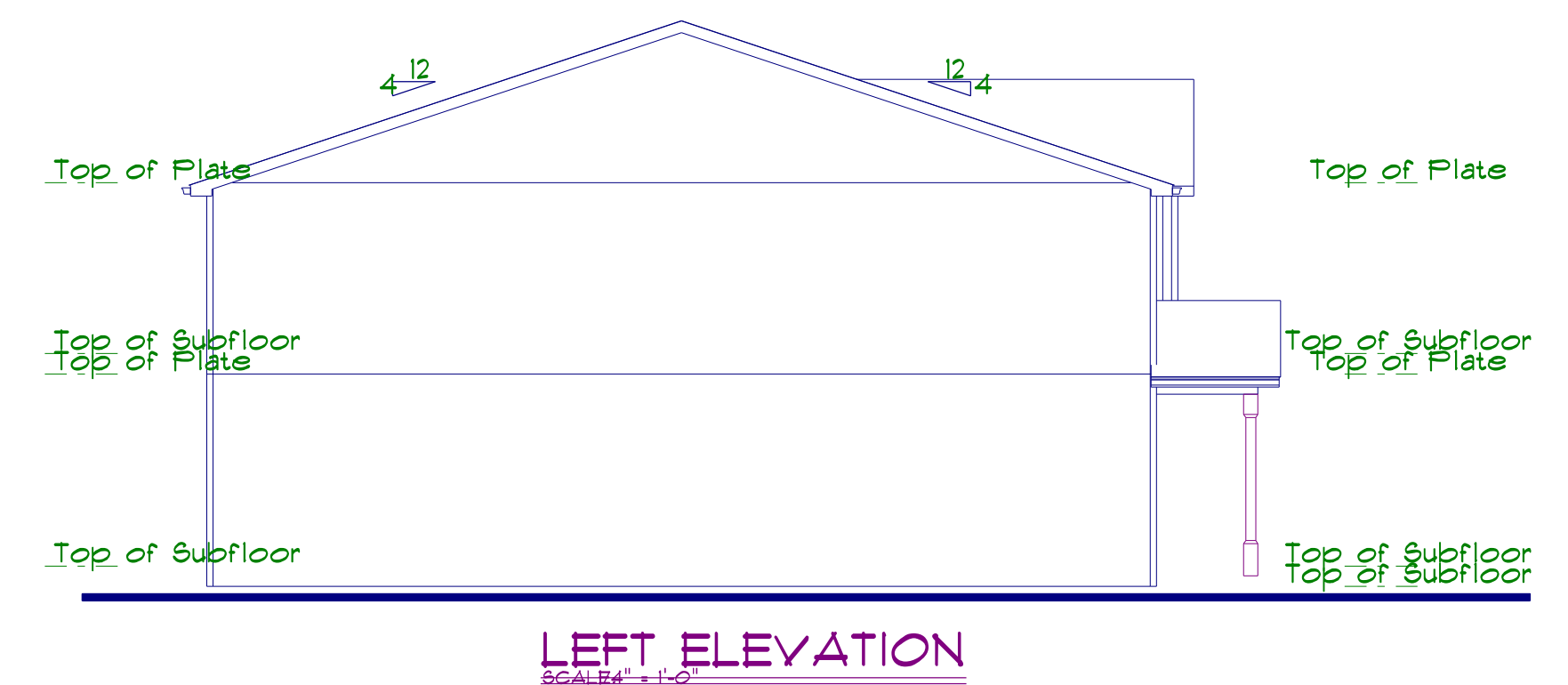
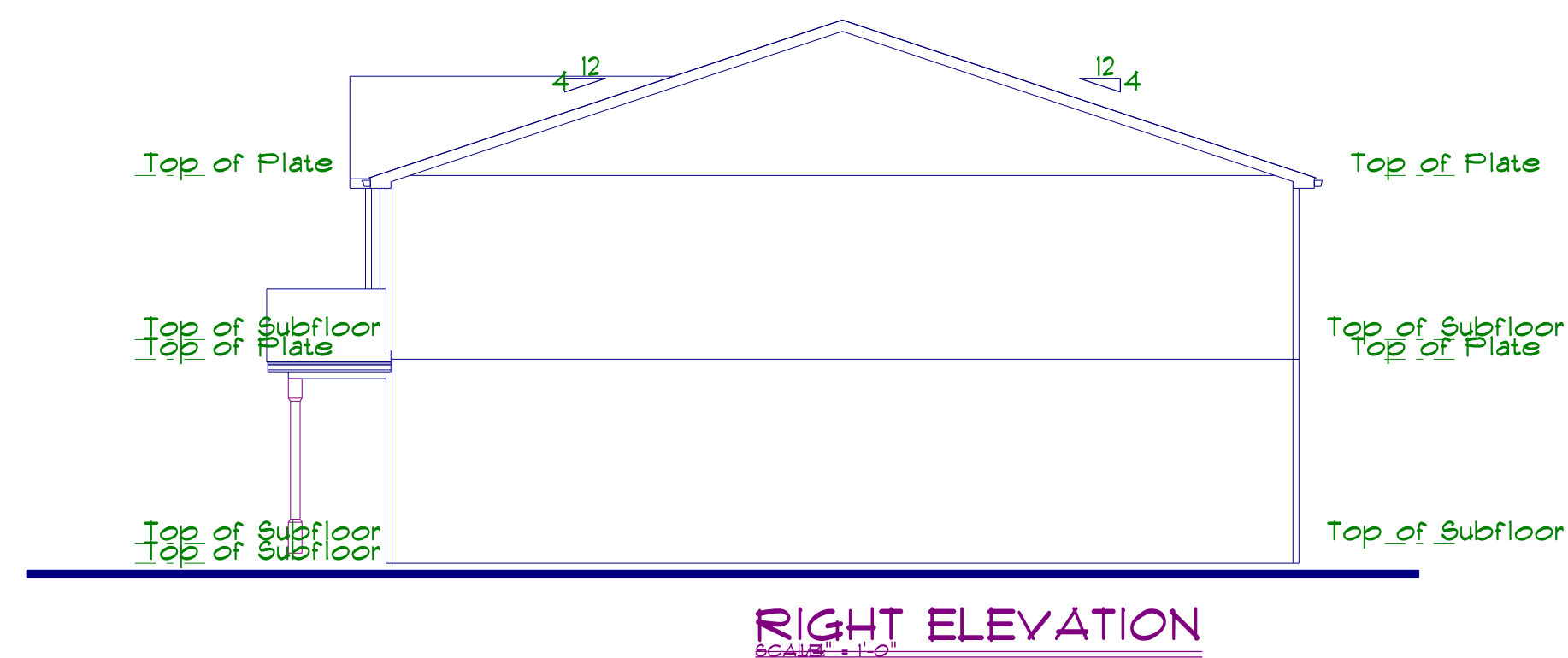
**PARTIAL  
REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**PARTIAL  
FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

8-unit Townhouse Project Clayton Cox		Dennis E. Tuck, Architect 12319 Moffitt Liberty, MO 64068	<b>ArchiTuckture</b>  816.622.5013	Sheet	Monday, November 1,	Job. NO.
				3		21.082
GROUND SNOW LOAD - 20#/S.F.						
WIND SPEED - 115 M.P.H.						
SEISMIC DESIGN CATEGORY - A						
FROST LINE DEPTH - 36"						





WIND SPEED - 115 M.P.H.

SEISMIC DESIGN CATEGORY - A

SEISMIC DESIGN CATEGORY - A

FROST LINE DEPTH - 36"

FROST LINE DEPTH - 36"

8-unit Townhouse Project  
Clayton Cox

Dennis E. Tuck,  
Architect  
12319 Moffitt  
Liberty, MO 64068

# Archituckture

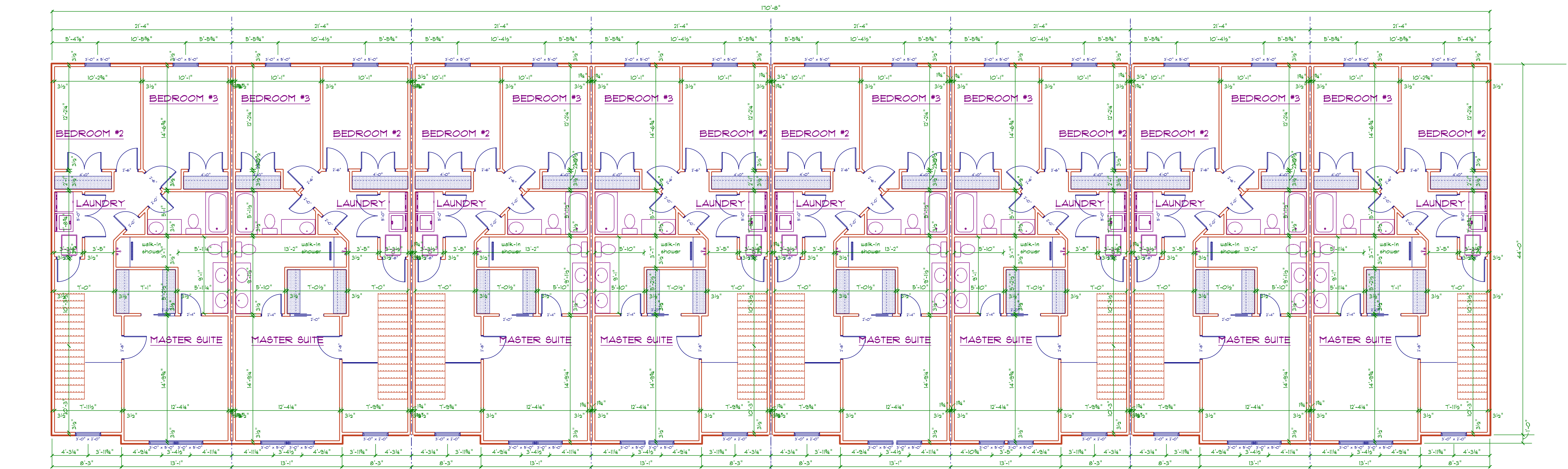
816.628.5013

Sheet  
4

Monday, November

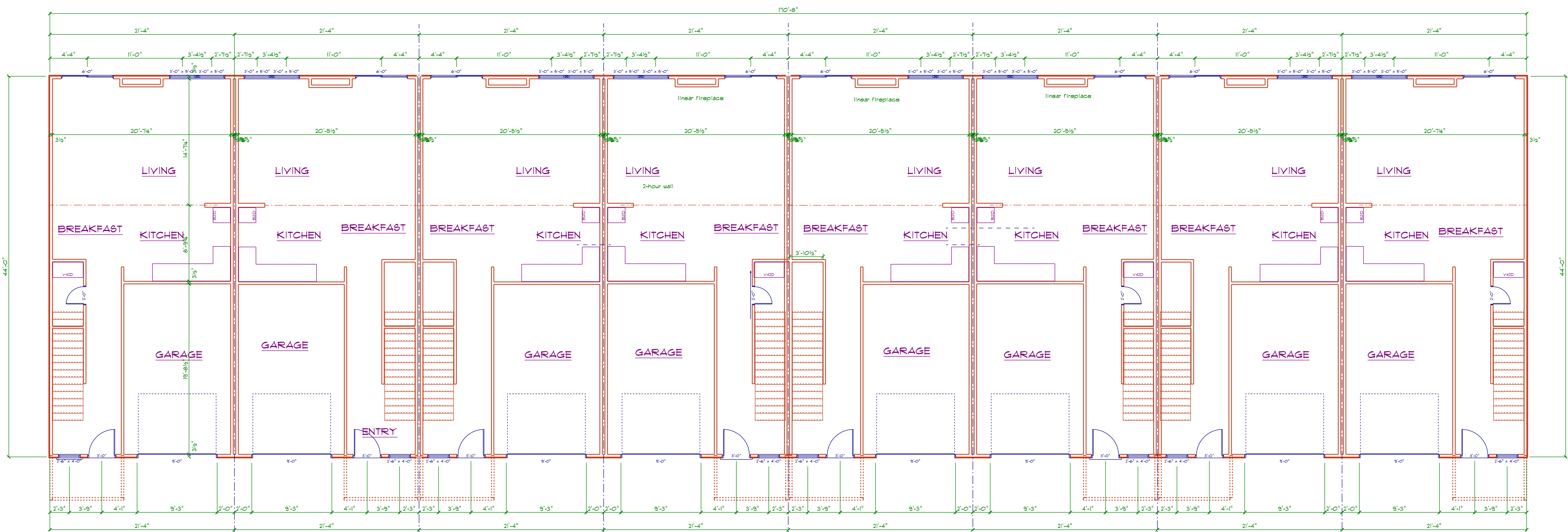
Job. NO.  
1.082

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UPPER FLOOR PLAN


SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

Archituckture		Dennis E. Tuck, Architect 12319 Moffitt Liberty MO 64068	8-unit Townhouse Project Clayton Cox	GROUND SNOW LOAD - 20#/S.F. WIND SPEED - 115 M.P.H. SEISMIC DESIGN CATEGORY - A FROST LINE DEPTH - 36"
Sheet				
5				
Job. NO.				
21.082				

	<div>STAFF</div> <div>REPORT</div>
<b>Date:</b>	12-10-21
<b>Prepared By:</b>	Jack Hendrix
<b>Subject:</b>	Smithville Montessori Academy Site Plan

Applicant has submitted plans to make an addition to the rear of the Major Mall for expansion of its' existing daycare business. Since it is an expansion, the proposal is required to make the addition as cohesive with the existing structure as is practical.

The existing structure is shown here:



As shown on the attached plan sheets, the request is to extend the lower level out from the existing façade. The roof is proposed to contrast the existing metal on the roof and the second story façade, and the three sides of the addition to be clad with a faux red brick material. The entrance to the new structure will include a new canopy using black metal. The stucco areas will be beige colored.

To the extent that the construction will occur over existing paved areas, and the only additional areas of pavement will be a small area for three parking spaces, no adverse impact to the stormwater drainage will occur. The area will continue to drain naturally to the south over the existing vegetation and into the road ditch.

In an addition scenario, the purpose of this review is to verify the addition will not bring the overall building/project out of compliance with the code. In this case, the contrasting style, material and color scheme actually upgrade the buildings' compliance with the code while still blending with the existing structure.

Staff recommends approval of the proposed additional in accordance with the plans. This approval is solely for the site plan portion of the project. The building construction plans will be subject to both City and Fire District review and approval and will require fire sprinklers in accordance with the Fire District requirements.

/s/

Jack Hendrix

Development Director



existing zone B-3

prop. line - 657.2'

3 new parking spaces  
9' x 20'

existing outdoor  
play area

2546 s.f. addition to 6500 s.f. existing  
day care @ lower level.

Upper level approx. 28,000 s.f.

Existing Zoning B-3

Existing Site - 443,379 s.f. , 10.18 acres

GROUND SNOW LOAD - 20#/S.F.  
WIND SPEED - 90 M.P.H.  
SEISMIC DESIGN CATEGORY - A  
FROST LINE DEPTH - 36"

Smithville Montessori  
14450 US Hwy 169  
Suite B

Dennis E. Tuck,  
Architect  
12319 Moffitt  
Liberty, MO 64068

ArchiTecture

Sheet  
1

Job. NO.  
20.011

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existing zoning R-1B

prop. line - 679.3'

EXISTING NODAWAY  
BANK

prop. line = 657.2'

SOUTH BOUND HWY 169

existing zoning across 169 - A-1

## EXISTING STRUCTURE

existing day care (6500 s.f.) @  
lower level

NEW  
ADDITION

EXISTING RETAINING  
WALL

existing upper level parking & drive

EXISTING RETAINING WALL

existing upper level parking & drive

prop. line - 679.3'

existing zoning B-3

NORTH

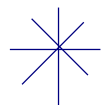
0 25' 50' 100' 150'

SCALE

# SITE PLAN

SCALE: 1/4" = 1'-0"

LANDSCAPING SCHEDULE  
Recommended Species



Evergreens

Pine, Austrian-Pinus Nigra

6'-8'

Trees, shade



Maple, Silver-Acer Saccharinum

2-2.5" cal.

Ash, Marshall's Seedless-Fraxinum Pennsylvanica

2-2.5" cal.

Plane Tree, London-Platanis Acerifolia

2-2.5" cal.

Trees, Specimen



Crab, Radiant-Malus sp

2-2.5" cal.

Redbud (1 stem)-Cercis Canddensis

Locust, Sunburet-Gleditsia Triacantos lernmis

1-1.5" cal.

(Red Oak, Cottonless Cottonwood, Hackberry, Silver Maple, Pecan

Sycamore, Walnut, Bradford Pear and Autumn Olive may be considered)

Shrubs



Euonymus, Duf, Winged-Euonymus Compactus

18-24" 3 gal.

Spirea, Goldflame-Spirea h.v.

Forsythia, Showy Border-Forsythia Internedia

Quince, Japanese Fowert-Cnaenomeles Japonica

Euonymus, Jewell-Euonymus Fortuei

Euonymous, Pauli - Euonymus KI autschovi cns

Pyracanta, Lowboys - Pyracantha Cocci nea

Yew, Duf, Spreading-Taxus Densiformis

Ferns

Daylily-Herocatis Hybrid

1 gal.

shaeta Daisey

1 gal.

Ground Covers

Crown Yetch-Coronilla Varia

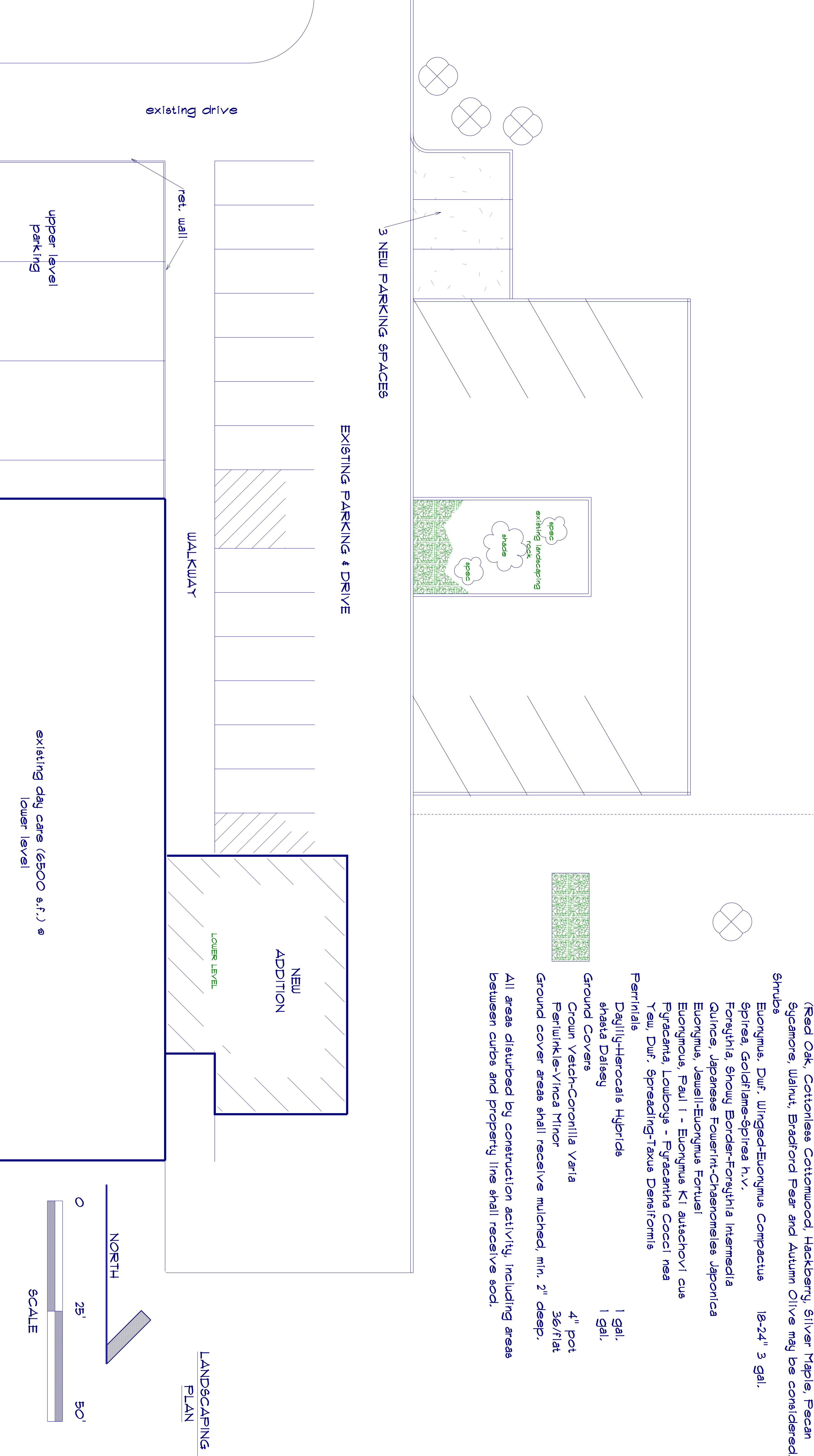
4" pot

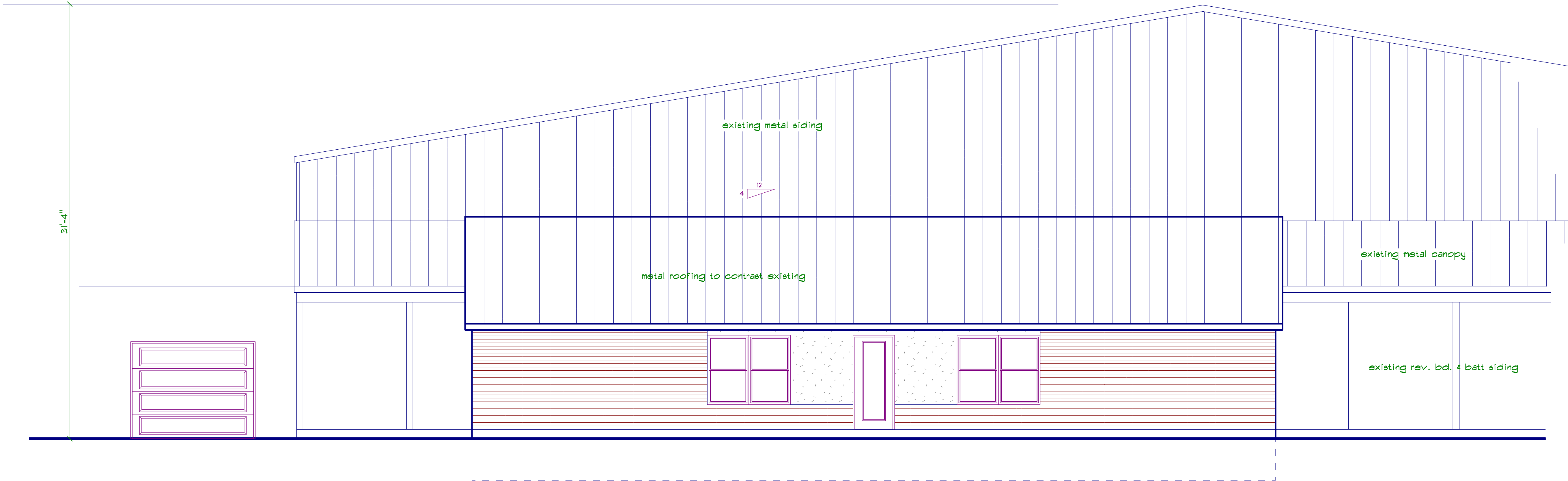
Periwinkle-Vinca Minor

36"/flat

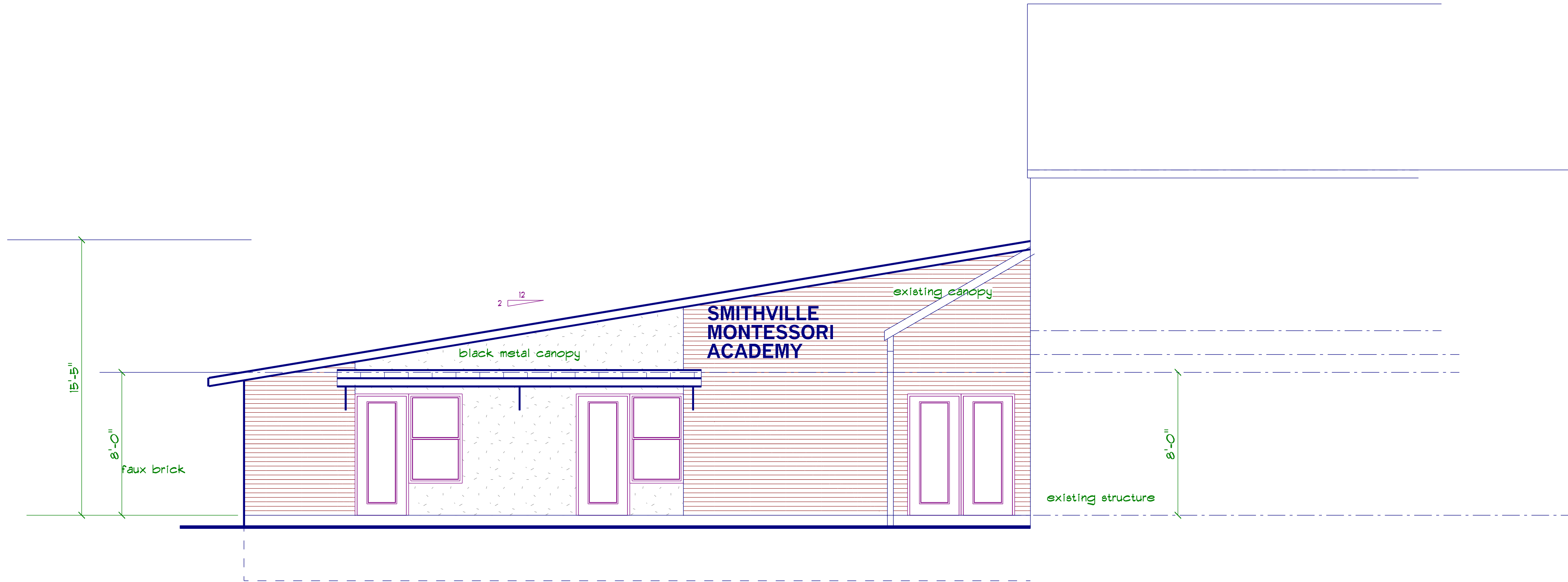
Ground cover areas shall receive mulched, min. 2" deep.

All areas disturbed by construction activity, including areas between curbs and property line shall receive sod.





WEST ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

ArchiTuckture	Dennis E. Tuck, Architect 12319 Moffitt Liberty, MO 64068	Renovations to the Smithville Montessori 14450 US Hwy 169 Suite B	
		GROUND SNOW LOAD - 20#/S.F.	
		WIND SPEED - 90 M.P.H.	
		SEISMIC DESIGN CATEGORY - A	
Sheet	3	Friday, December 10, 2021	Job. NO. 20.011

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